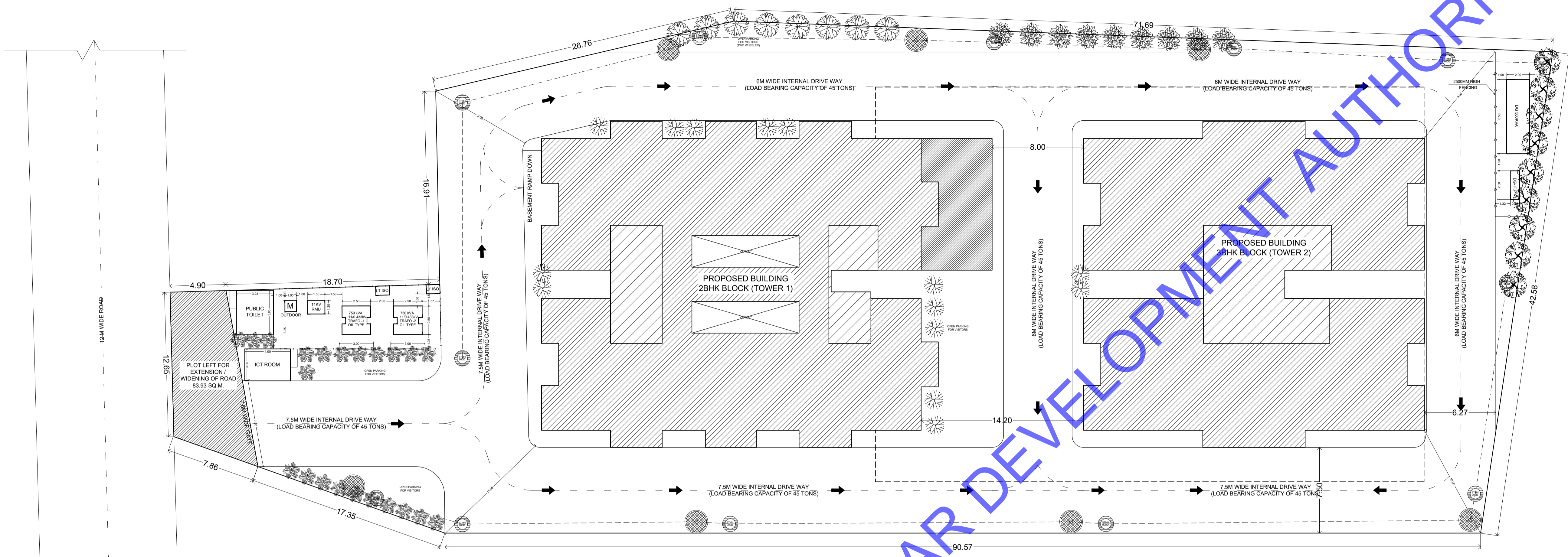


PERMISSION GRANTED UNDER SEC. 16 (3) OF ODA ACT 1982 SUBJECT TO CONDITIONS CONTAINED IN LETTER NUMBER BP/BDA/004917 DATED 22.09.2023. THIS PERMISSION IS VALID TILL 21.09.2026.



SCHEDULE OF DOORS & WINDOWS :		
NAME	DESCRIPTION	SIZES
DOORS		
D1	50mm paneled TEAK DOOR	1.20 X 2.40
D2	50mm paneled TEAK DOOR	1.05 X 2.40
D3	PLYWOOD FLUSH DOOR	0.75 X 2.40
D4	PVC SLIDING DOOR	2.40 X 2.25
D5	PLYWOOD FLUSH DOOR	0.90 X 2.40
D6	50mm paneled TEAK DOOR	1.80 X 2.40
D7	PVC SLIDING DOOR	2.40 X 2.40
WINDOWS		
W1	GLAZED ALUMINIUM WINDOW	2.40 X 1.80
W2	GLAZED ALUMINIUM WINDOW	1.20 X 1.80
W3	GLAZED ALUMINIUM WINDOW	1.50 X 1.80
VENTILATORS		
V	GLAZED WOODEN VENTILATOR	0.60 X 1.20

NOTES:
 • ALL DIMENSIONS ARE IN METERS.
 • WRITTEN DIMENSION SHOULD BE FOLLOWED.
 • DRAWING MUST NOT BE SCALED.

PROJECT TITLE:
 PROPOSED B+S+12 AND B+S+10 STORED TWO NO'S RESIDENTIAL APARTMENT MIG CATEGORY BUILDINGS OVER PLOT NO - 260/981, KHATA NO. 276/408 AND PLOT NO. 261/152, KHATA NO. 276/1263, MOUZA - NUAGAON/NUAGAON (51), PS: CHANDAKA, TAHSIL: BHUBANESHWAR, ODISHA OF MRS. GITANJALI SAHOO THROUGH GPA HOLDER M/S URBAN LIVING DEVELOPERS LLP.

AREA STATEMENT	
PARTICULARS	AREA (IN SQ.M.)
PLOT AREA (AS PER MEASUREMENT)	4456.17
ROAD AFFECTED AREA	83.93
NET PLOT AREA AFTER ROAD AFFECT	4372.23
PLOT AREA (AS DECLARATION)	4372.23
PARTICULARS	
TOWER 1	
STILT FLOOR	847.43
1ST FLOOR	569.53
2ND FLOOR (INCLUDING OWNERS ASSEMBLY SOCIETY AREA)	797.00
TYPICAL 3RD FLOOR TO 12TH FLOOR (BUILT-UP AREA=768.58 X 10)	7685.80
TOTAL	9899.76
TOTAL CARPET AREA	5713.33
TOWER 2	
STILT FLOOR	675.01
TYPICAL 1ST FLOOR TO 10TH FLOOR (BUILT-UP AREA=675.83 X 10)	6756.30
TOTAL	7431.31
TOTAL CARPET AREA	4954.00
BASEMENT	2187.44
ALL TOTAL	19518.52
F.A.R.	3.64
PARKING	
REQUIRED MIG PARKING AREA	3977.50
OPEN PARKING	689.21
BASEMENT PARKING	2180.02
STILT PARKING	1118.65
TOTAL PARKING AREA PROVIDED	3967.88
COVERED AREA IN SQ. M.	1631.31
GROUND COVERAGE IN %	37.31
SOCIETY ASSEMBLY AREA REQUIRED	104.00
SOCIETY ASSEMBLY AREA PROVIDED	157.73

TOWER 1 (B+S+12)
 • FRONT SIDE SETBACK: 8.92m.
 • REAR SIDE SETBACK: 45.69m.
 • LEFT SIDE SETBACK: 6.07m.
 • RIGHT SIDE SETBACK: 7.50m.

TOWER 2 (B+S+10)
 • FRONT SIDE SETBACK: 56.31m.
 • REAR SIDE SETBACK: 6.27m.
 • LEFT SIDE SETBACK: 6.89m.
 • RIGHT SIDE SETBACK: 7.50m.

LIST OF SHEETS		
SL.NO.	DESCRIPTION	SHEET NO.
1	SITE PLAN	01
2	BASEMENT FLOOR PLAN	02
3	STILT FLOOR PLAN	03
4	TOWER 1 AND TOWER 2 FLOOR PLANS	04
5	SECTIONS	05
6	TOWER 1 ELEVATIONS	06
7	TOWER 2 ELEVATIONS	07

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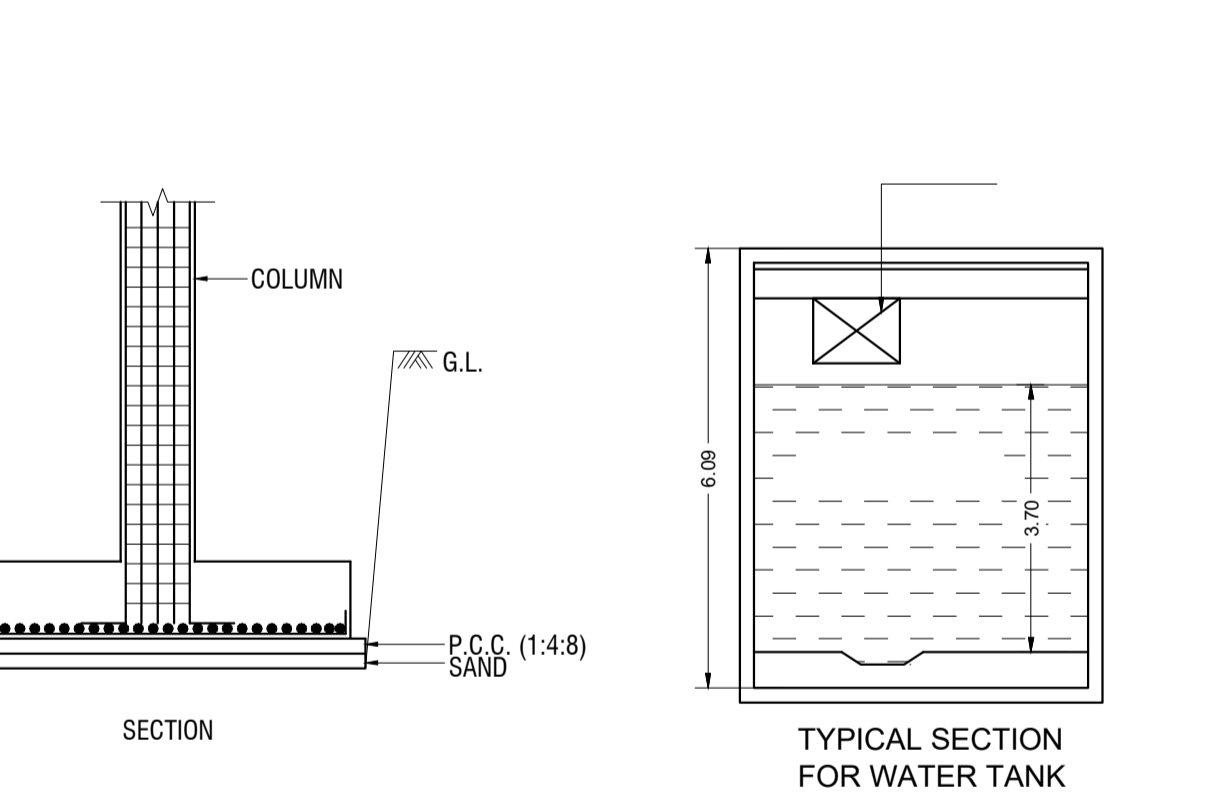
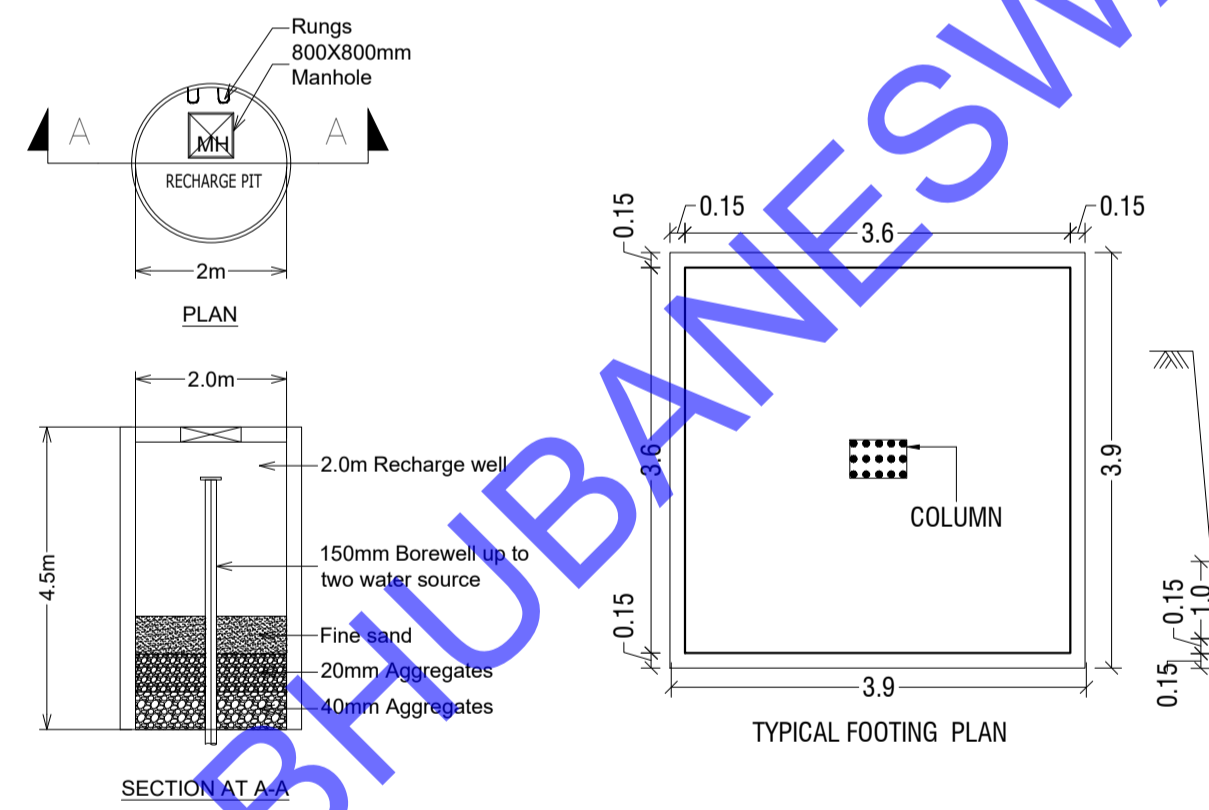
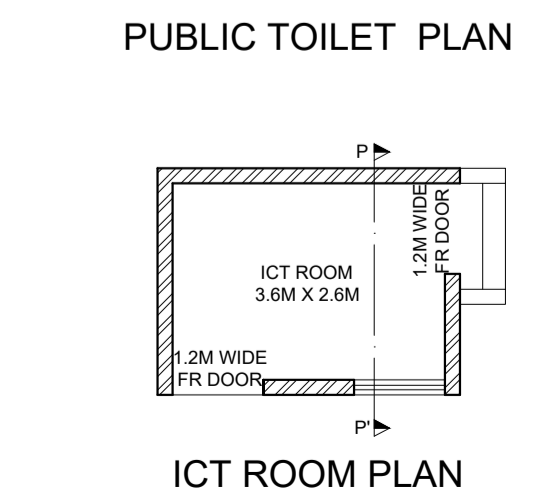
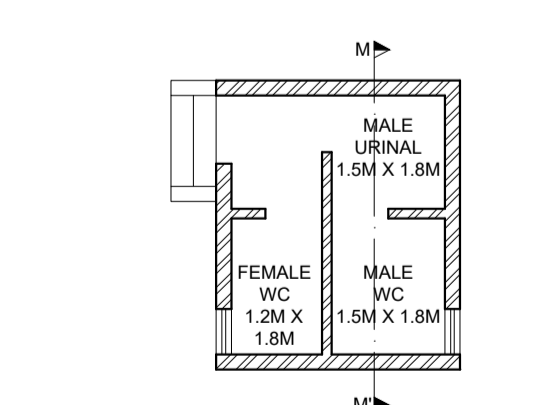
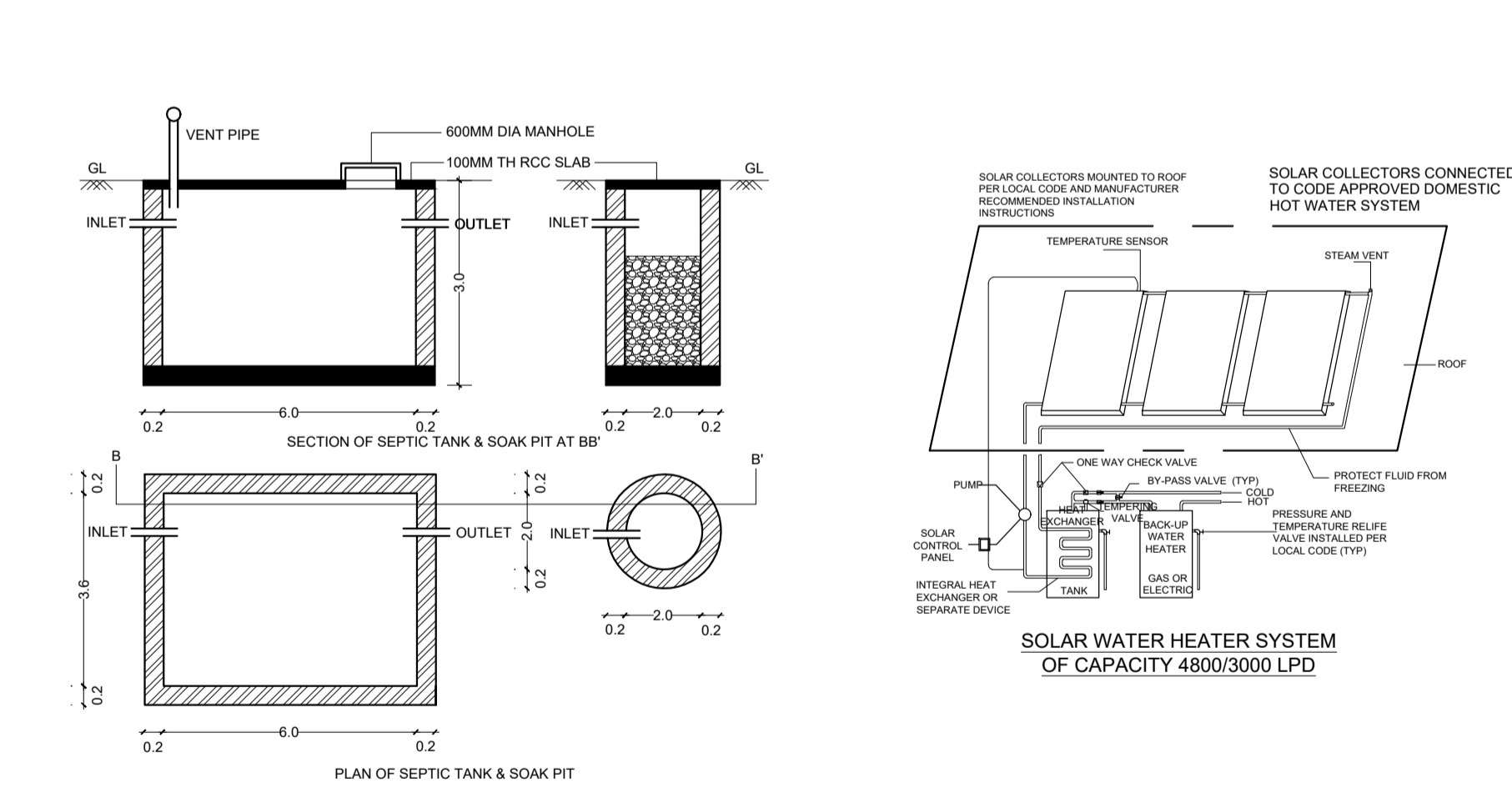
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The drawing has been prepared as per the ODA (Planning & Building Standards) Rules, 2020.

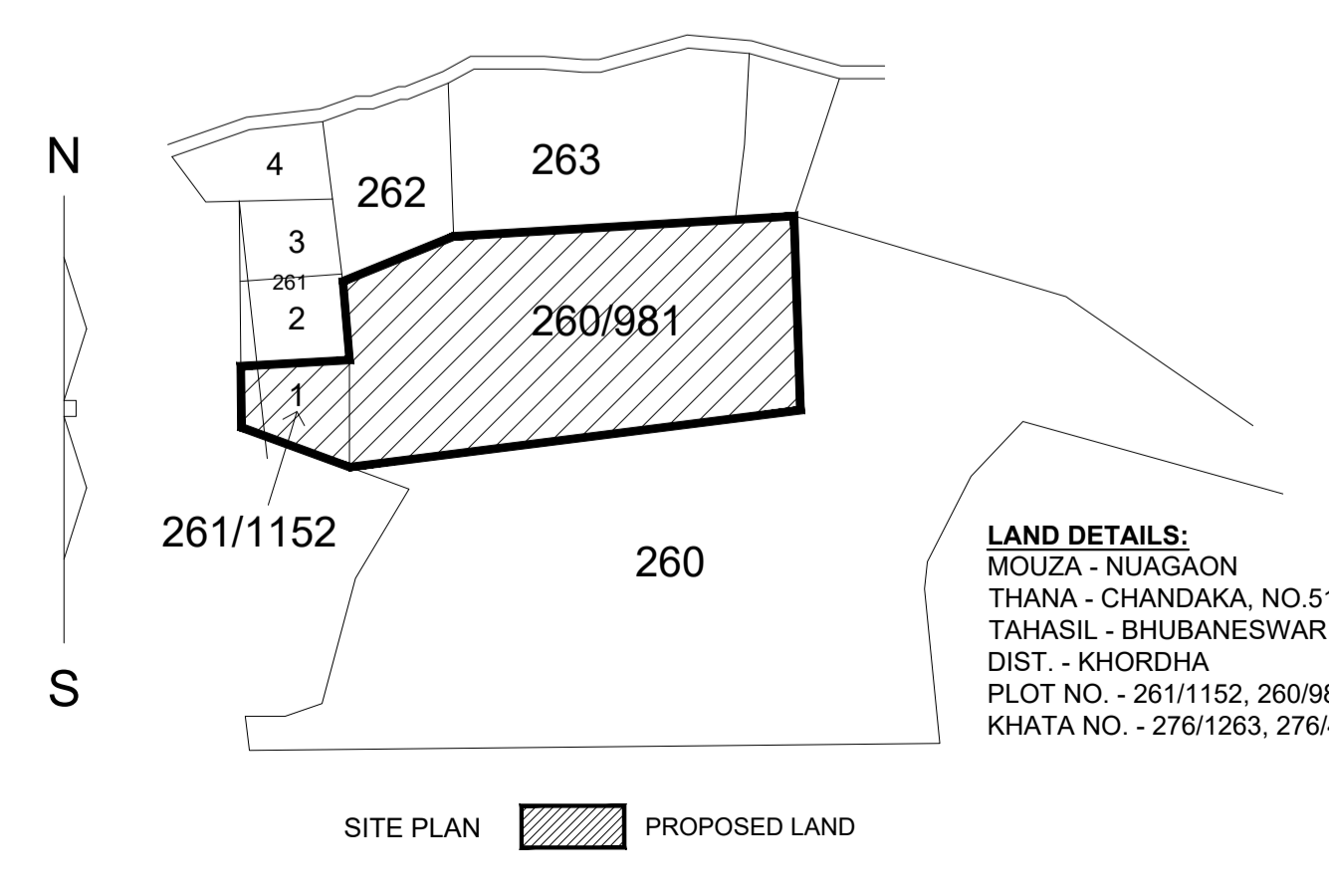
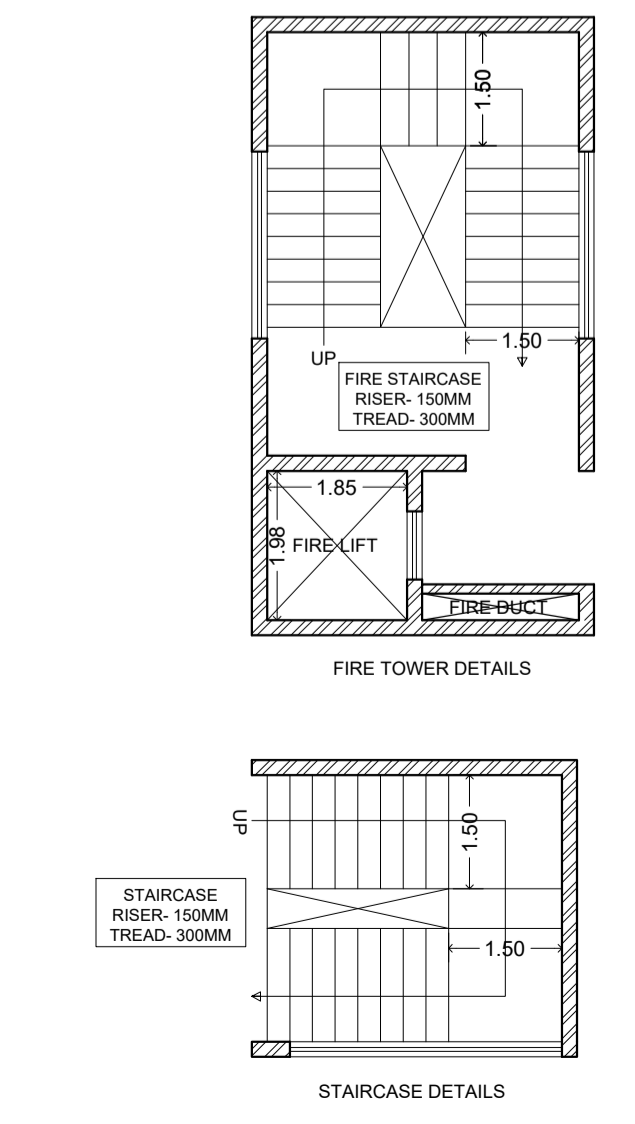
ARCHITECTURAL CONSULTANT:
 rooted sites studio

SEAL & SIGN OF TECHNICAL PERSON:
 SEAL & SIGN OF MEP CONSULTANT:

APPLICANT'S SIGN:
 Urban Living Developers LLP
 Designated Partner



LEGEND		
SYMBOL:	NAME:	FOLIAGE NOS. TREES:
	ARECACEAE	3M 22
	CASSIA FISTULA	4M 08
	BALUHINIA VARIEGATA	3M 14
	LAGERSTROEMIA SPECIOSA	3M 09
	TERMINALIA CATAPPA	6M 09
TOTAL NUMBER OF TREES		
REQUIRED	54	
PROPOSED	62	



LAND DETAILS:
 MOUZA - NUAGAON
 THANA - CHANDAKA, NO.51
 TAHASIL - BHUBANESWAR
 DIST. - KHORDHA
 PLOT NO. - 261/1152, 260/981
 KHATA NO. - 276/1263, 276/408

PERMISSION GRANTED UNDER SEC. 16 (3) OF ODA ACT 1982 SUBJECT TO CONDITIONS CONTAINED IN LETTER NUMBER BP/BDA/004917 DATED 22.09.2023. THIS PERMISSION IS VALID TILL 21.09.2026.

SCHEDULE OF DOORS & WINDOWS :		
NAME	DESCRIPTION	SIZES
DOORS		
D1	50mm PANELED TEAK DOOR	1.20 X 2.40
D2	50mm PANELED TEAK DOOR	1.05 X 2.40
D3	PLYWOOD FLUSH DOOR	0.75 X 2.40
D4	PVC SLIDING DOOR	2.40 X 2.25
D5	PLYWOOD FLUSH DOOR	0.90 X 2.40
D6	50mm PANELED TEAK DOOR	1.80 X 2.40
D7	PVC SLIDING DOOR	2.40 X 2.40
WINDOWS		
W1	GLAZED ALUMINIUM WINDOW	2.40 X 1.80
W2	GLAZED ALUMINIUM WINDOW	1.20 X 1.80
W3	GLAZED ALUMINIUM WINDOW	1.50 X 1.80
VENTILATORS		
V	GLAZED WOODEN VENTILATOR	0.60 X 1.20

NOTES:
 • ALL DIMENSIONS ARE IN METERS.
 • WRITTEN DIMENSION SHOULD BE FOLLOWED.
 • DRAWING MUST NOT BE SCALED.

PROJECT TITLE:
 PROPOSED B+S+12 AND B+S+10 STORIED TWO NO'S RESIDENTIAL APARTMENT MIG CATEGORY BUILDINGS OVER PLOT NO - 260/981, KHATA NO. 276408 AND PLOT NO. 261/182, KHATA NO. 2761233, MOUZA - NIJAGONINJAGAN (51), PS: CHANDAKA, TAHSIL: BHUBANESHWAR, ODISHA OF MRS. GITANJALI SAHOO THROUGH GPA HOLDER M/S URBAN LIVING DEVELOPERS LLP.

AREA STATEMENT	
PARTICULARS	AREA (IN SQ.M.)
PLOT AREA (AS PER MEASUREMENT)	4456.17
ROAD AFFECTED AREA	83.93
NET PLOT AREA AFTER ROAD AFFECT	4372.23
PLOT AREA (AS DECLARATION)	4372.23

PARTICULARS	BUILT-UP AREA IN SQ.M.	FLOOR AREA IN SQ.M.
TOWER 1		
STILT FLOOR	847.43	62.82
1ST FLOOR	569.53	569.53
2ND FLOOR (INCLUDING OWNERS ASSEMBLY SOCIETY AREA)	797.00	797.00
TYPICAL 3RD FLOOR TO 12TH FLOOR (BUILT-UP AREA=768.58 X 10)	7685.80	7685.80
TOTAL	9899.76	9115.15
TOTAL CARPET AREA		5713.33
TOWER 2		
STILT FLOOR	675.01	38.55
TYPICAL 1ST FLOOR TO 10TH FLOOR (BUILT-UP AREA=675.83 X 10)	6756.30	6756.30
TOTAL	7431.31	6794.85
TOTAL CARPET AREA		4954.00
BASEMENT	2187.44	00
ALL TOTAL	19518.52	15910.01
F.A.R.		3.64

PARKING	
REQUIRED MIG PARKING AREA	3977.50
OPEN PARKING	689.21
BASEMENT PARKING	2180.02
STILT PARKING	1118.65
TOTAL PARKING AREA PROVIDED	3966.88
COVERED AREA IN SQ. M.	1631.31
GROUND COVERAGE IN %	37.31
SOCIETY ASSEMBLY AREA PROVIDED	104.00
SOCIETY ASSEMBLY AREA REQUIRED	157.73

TOWER 1 (B+S+12)
 • FRONT SIDE SETBACK: 8.92m.
 • REAR SIDE SETBACK: 45.66m.
 • LEFT SIDE SETBACK: 6.07m.
 • RIGHT SIDE SETBACK: 7.50m.

TOWER 2 (B+S+10)
 • FRONT SIDE SETBACK: 56.31m.
 • REAR SIDE SETBACK: 6.27m.
 • LEFT SIDE SETBACK: 6.89m.
 • RIGHT SIDE SETBACK: 7.50m.


LIST OF SHEETS		
SL. NO.	DESCRIPTION	SHEET NO.
1	SITE PLAN	01
2	BASEMENT FLOOR PLAN	02
3	STILT FLOOR PLAN	03
4	TOWER 1 AND TOWER 2 FLOOR PLANS	04
5	SECTIONS	05
6	TOWER 1 ELEVATIONS	06
7	TOWER 2 ELEVATIONS	07


SPACE FOR AUTHORITY:
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SHEET NO.: 02
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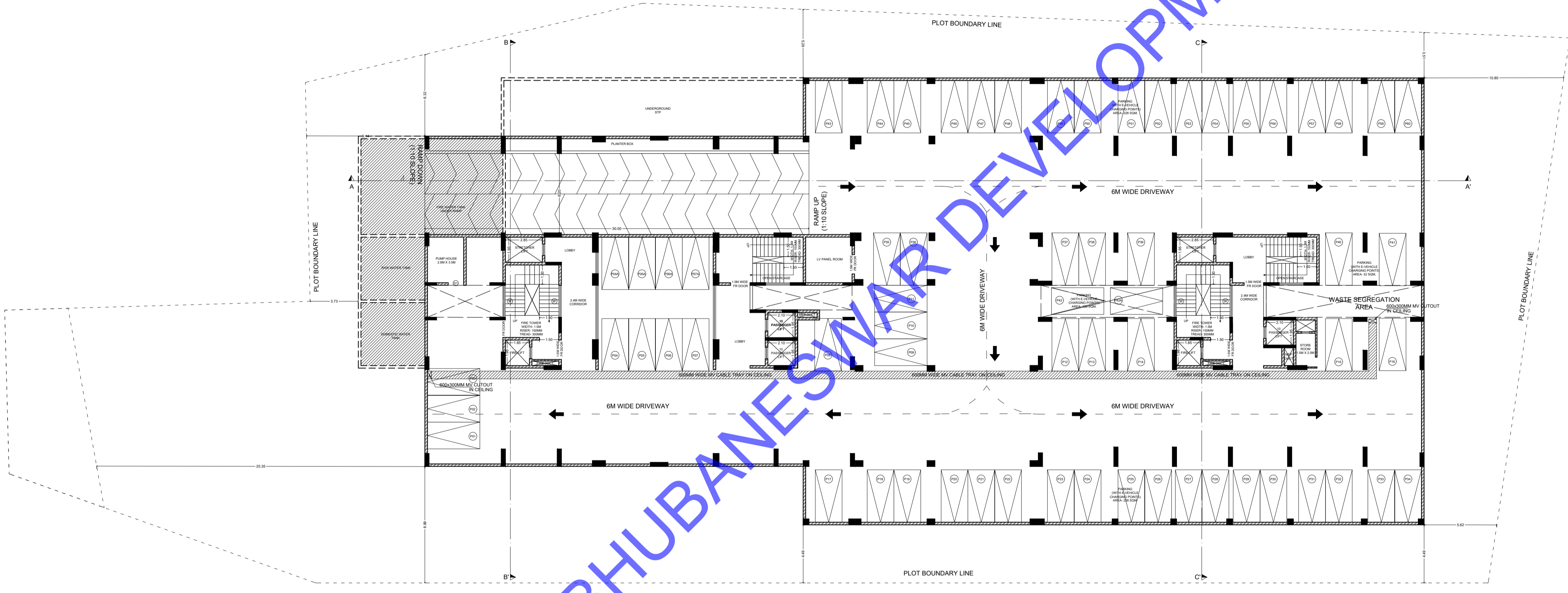
The drawing has been prepared as per the ODA (Planning & Building Standards) Rules, 2020.

ARCHITECTURAL CONSULTANT:

 rooted sites studio

SEAL & SIGN OF TECHNICAL PERSON:

 AJIT KUMBHAR
 LICENSED ARCHITECT
 01/2021/132985

SEAL & SIGN OF MEP CONSULTANT:

 ANOOP

APPLICANT'S SIGN:

 Urban Living Developers LLP
 Designated Partner



BASEMENT FLOOR PLAN

PARKING SPECIFICATIONS			
PARTICULARS	PARKING TYPE	REQUIRED AREA	PROVIDED AREA
TOTAL PARKING	OPEN, STILT & BASEMENT	3977.50 SQM.	3986.88 SQM.
VISITORS PARKING	OPEN PARKING		226.28 SQM.
E-VEHICLE PARKING	BASEMENT & STILT	30% OF TOTAL PROVIDED PARKING	1253.85 SQM.

APPROVED BY BHUBANESHWAR DEVELOPMENT AUTHORITY

OBPS (SUJOG) APPLICATION NO: BP-BDA-2022-07-20-006361

PERMISSION GRANTED UNDER SEC. 16 (3) OF ODA ACT 1982 SUBJECT TO CONDITIONS CONTAINED IN LETTER NUMBER BP/BDA/004917 DATED 22.09.2023. THIS PERMISSION IS VALID TILL 21.09.2026.

SCHEDULE OF DOORS & WINDOWS :		
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D1	50mm PANELED TEAK DOOR	1.20 X 2.40
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D3	PLYWOOD FLUSH DOOR	0.75 X 2.40
D4	PVC SLIDING DOOR	2.40 X 2.25
D5	PLYWOOD FLUSH DOOR	0.90 X 2.40
D6	50mm PANELED TEAK DOOR	1.80 X 2.40
D7	PVC SLIDING DOOR	2.40 X 2.40
WINDOWS		
W1	GLAZED ALUMINIUM WINDOW	2.40 X 1.80
W2	GLAZED ALUMINIUM WINDOW	1.20 X 1.80
W3	GLAZED ALUMINIUM WINDOW	1.50 X 1.80
VENTILATORS		
V	GLAZED WOODEN VENTILATOR	0.60 X 1.20

NOTES:
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PROJECT TITLE:
PROPOSED B+S+12 AND B+S+10 STORED TWO NO'S RESIDENTIAL APARTMENT MIG CATEGORY BUILDINGS OVER PLOT NO - 260/981, KHATA NO. 276/408 AND PLOT NO. 267/182, KHATA NO. 276/1233, MOUZA - NIJAGONINJAGAN (51), PS: CHANDAKA, TAHSIL: BHUBANESHWAR, ODISHA OF MRS. GITANJALI SAHOO THROUGH GPA HOLDER M/S URBAN LIVING DEVELOPERS LLP.

AREA STATEMENT	
PARTICULARS	AREA (IN SQ.M.)
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ROAD AFFECTED AREA	83.93
NET PLOT AREA AFTER ROAD AFFECT	4372.23
PLOT AREA (AS DECLARATION)	4372.23
TOWER 1	
STILT FLOOR	847.43
1ST FLOOR	569.53
2ND FLOOR (INCLUDING OWNERS ASSEMBLY SOCIETY AREA)	797.00
TYPICAL 3RD FLOOR TO 12TH FLOOR (BUILT-UP AREA=768.58 X 10)	7685.80
TOTAL	9899.76
TOTAL CARPET AREA	5713.33
TOWER 2	
STILT FLOOR	675.01
TYPICAL 1ST FLOOR TO 10TH FLOOR (BUILT-UP AREA=675.83 X 10)	6756.30
TOTAL	7431.31
TOTAL CARPET AREA	4954.00
BASEMENT	2187.44
ALL TOTAL	19518.52
F.A.R.	3.64
PARKING	
REQUIRED MIG PARKING AREA	3977.50
OPEN PARKING	689.21
BASEMENT PARKING	2180.02
STILT PARKING	1118.65
TOTAL PARKING AREA PROVIDED	3966.88
COVERED AREA IN SQ. M.	1631.31
GROUND COVERAGE IN %	37.31
SOCIETY ASSEMBLY AREA PROVIDED	104.00
SOCIETY ASSEMBLY AREA REQUIRED	157.73

TOWER 1 (B+S+12)
 • FRONT SIDE SETBACK: 8.92m.
 • REAR SIDE SETBACK: 45.66m.
 • LEFT SIDE SETBACK: 6.07m.
 • RIGHT SIDE SETBACK: 7.50m.

TOWER 2 (B+S+10)
 • FRONT SIDE SETBACK: 56.31m.
 • REAR SIDE SETBACK: 6.27m.
 • LEFT SIDE SETBACK: 6.89m.
 • RIGHT SIDE SETBACK: 7.50m.

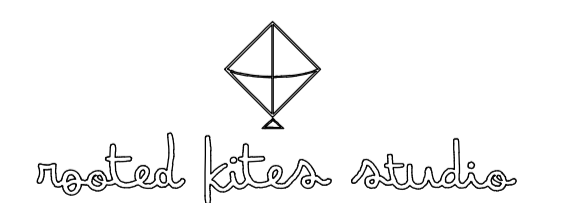
LIST OF SHEETS		
SL. NO.	DESCRIPTION	SHEET NO.
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2	BASEMENT FLOOR PLAN	02
3	STILT FLOOR PLAN	03
4	TOWER 1 AND TOWER 2 FLOOR PLANS	04
5	SECTIONS	05
6	TOWER 1 ELEVATIONS	06
7	TOWER 2 ELEVATIONS	07


SPACE FOR AUTHORITY:
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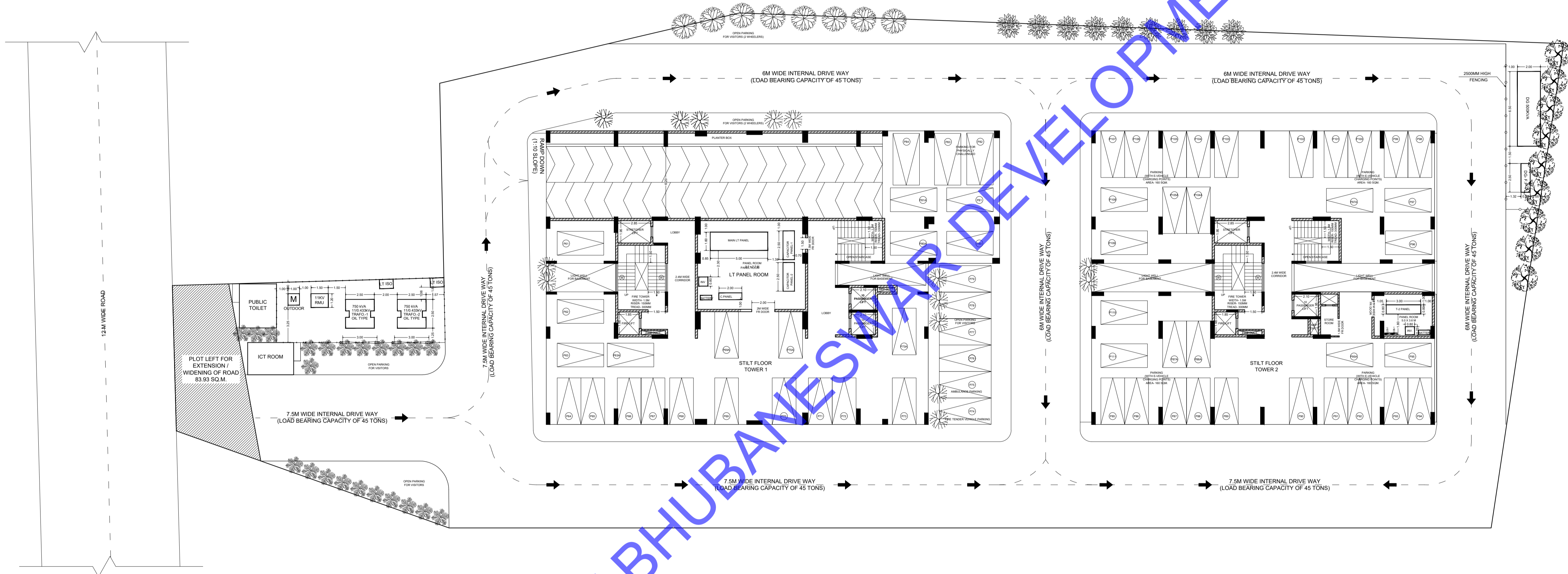
The drawing has been prepared as per the ODA (Planning & Building Standards) Rules, 2020.

ARCHITECTURAL CONSULTANT:


SEAL & SIGN OF TECHNICAL PERSON:


SEAL & SIGN OF MEP CONSULTANT:


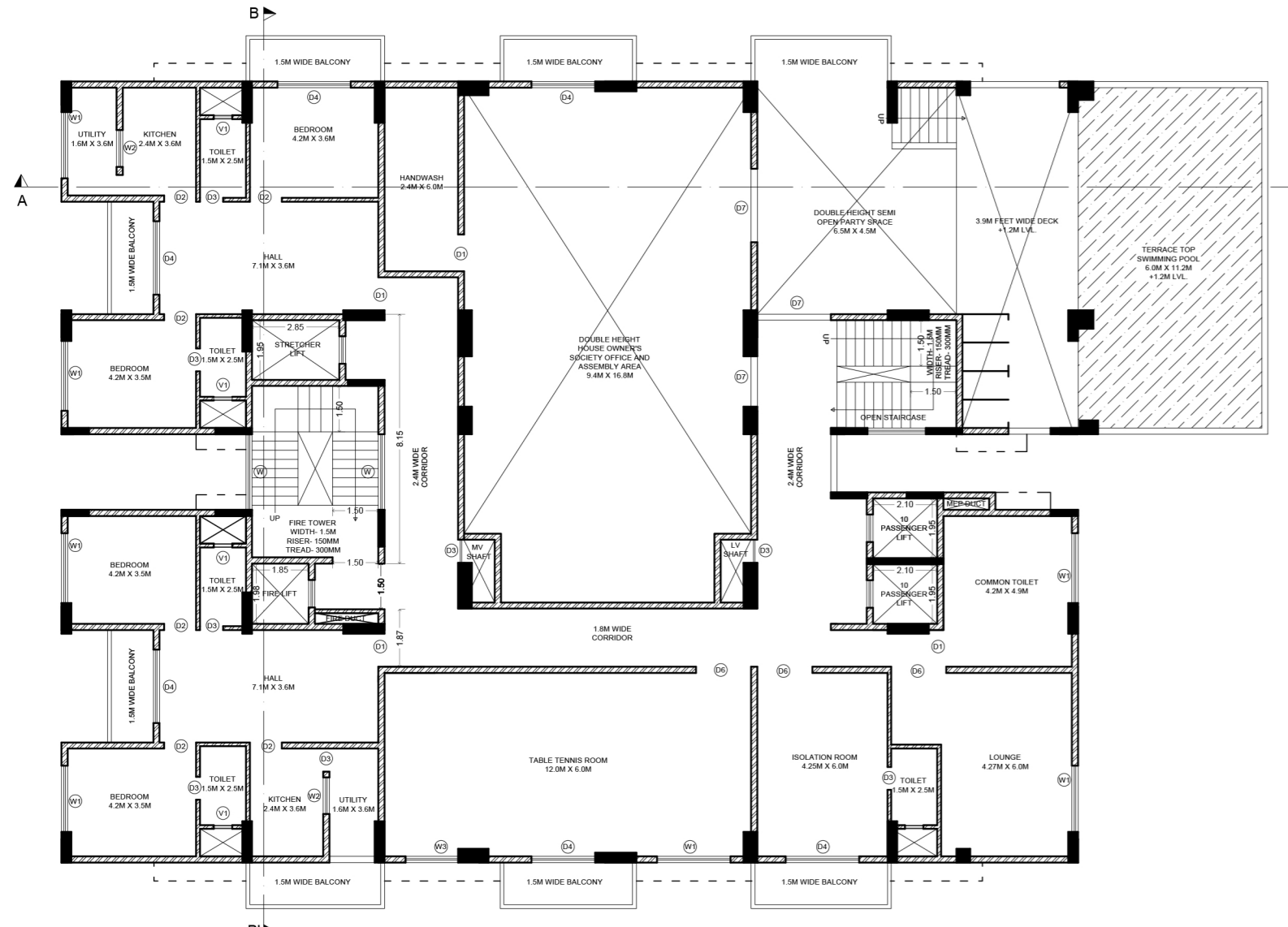
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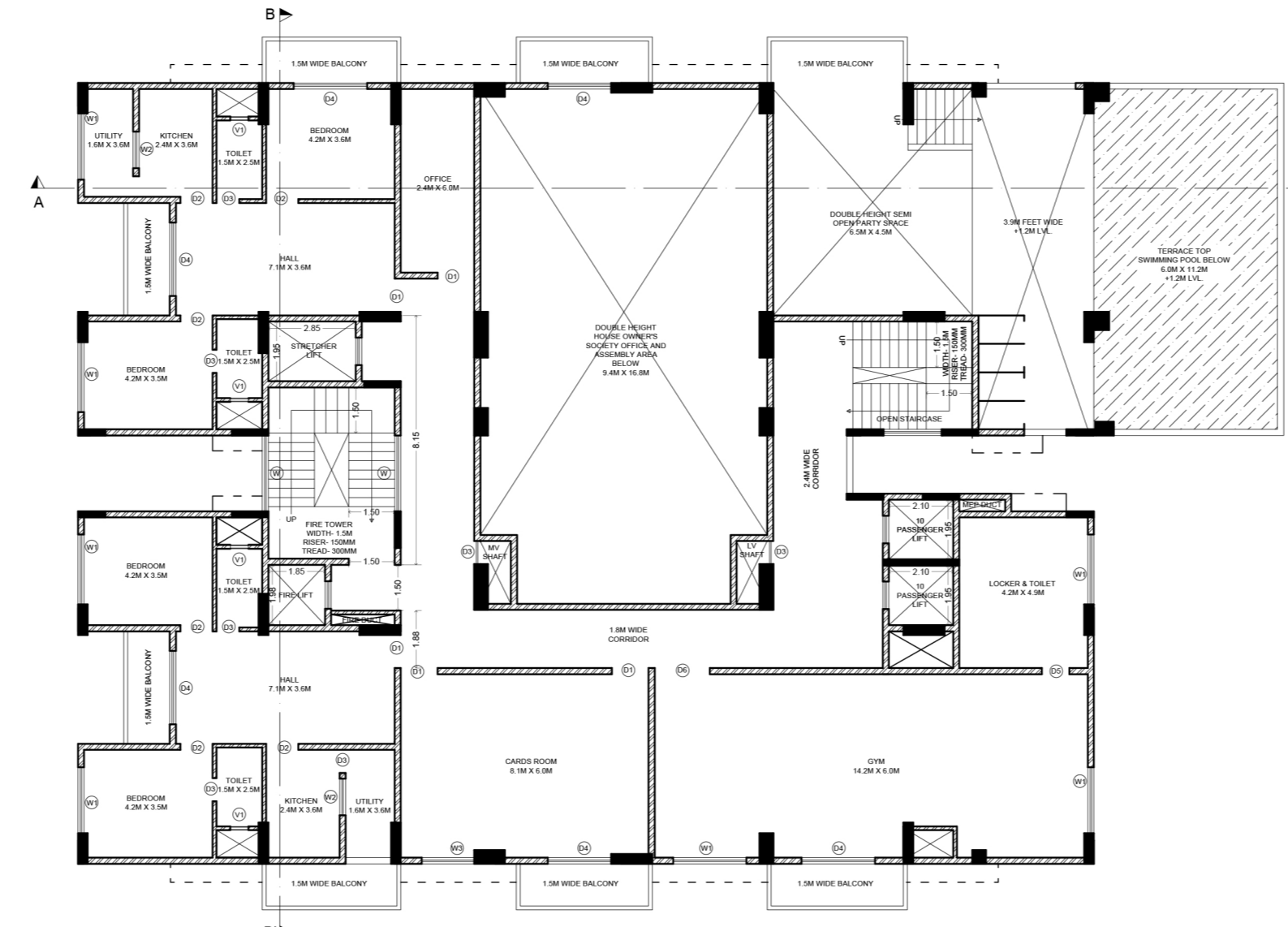
STILT FLOOR PLAN

PARKING SPECIFICATIONS			
PARTICULARS	PARKING TYPE	REQUIRED AREA	PROVIDED AREA
TOTAL PARKING	OPEN, STILT & BASEMENT	3977.50 SQ.M.	3966.88 SQ.M.
VISITORS PARKING	OPEN PARKING		226.28 SQ.M.
E-VEHICLE PARKING	BASEMENT & STILT	30% OF TOTAL PROVIDED PARKING	1253.85 SQ.M.

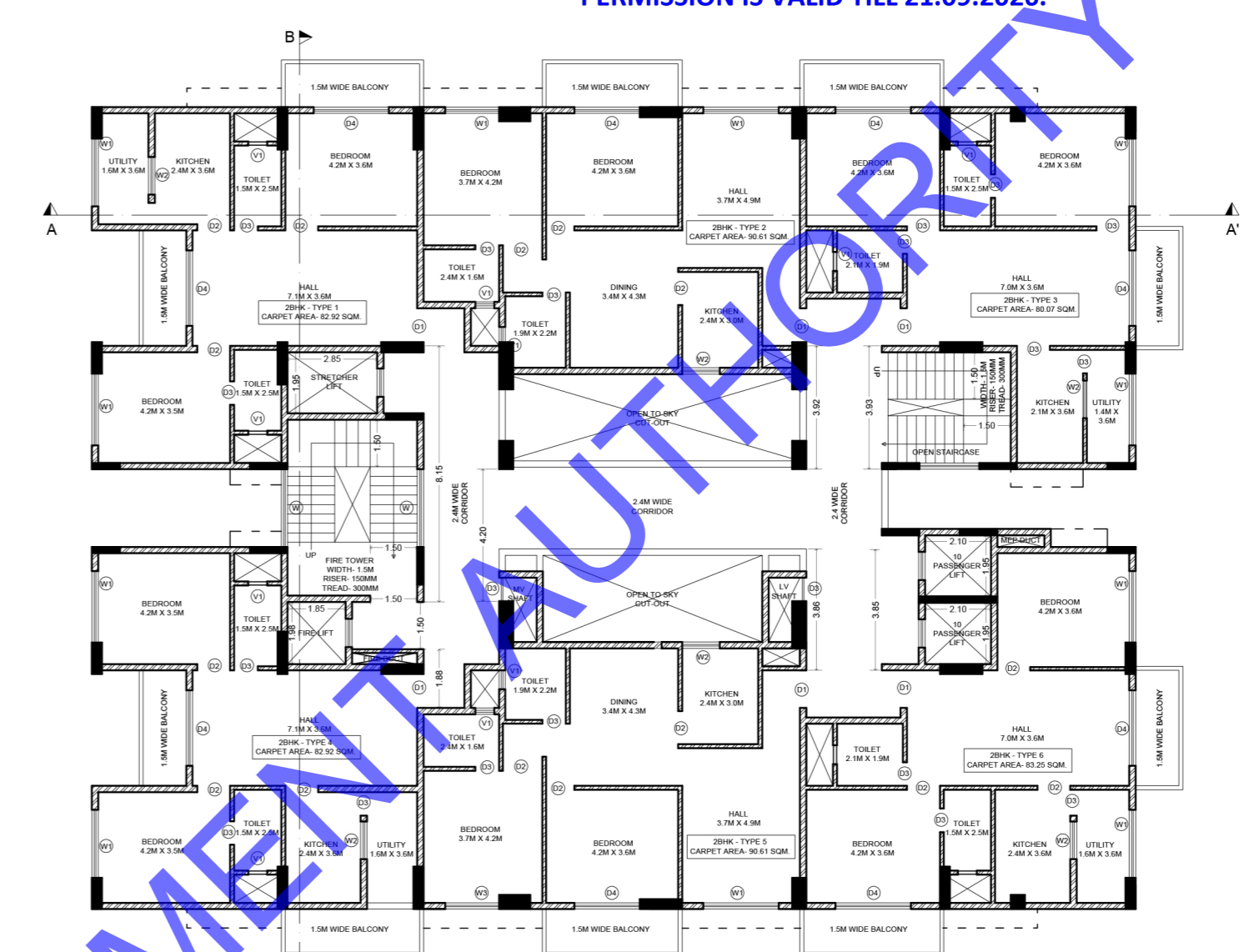
PERMISSION GRANTED UNDER SEC. 16 (3) OF ODA ACT 1982 SUBJECT TO CONDITIONS CONTAINED IN LETTER NUMBER BP/BDA/004917 DATED 21.09.2023. THIS PERMISSION IS VALID TILL 21.09.2026.



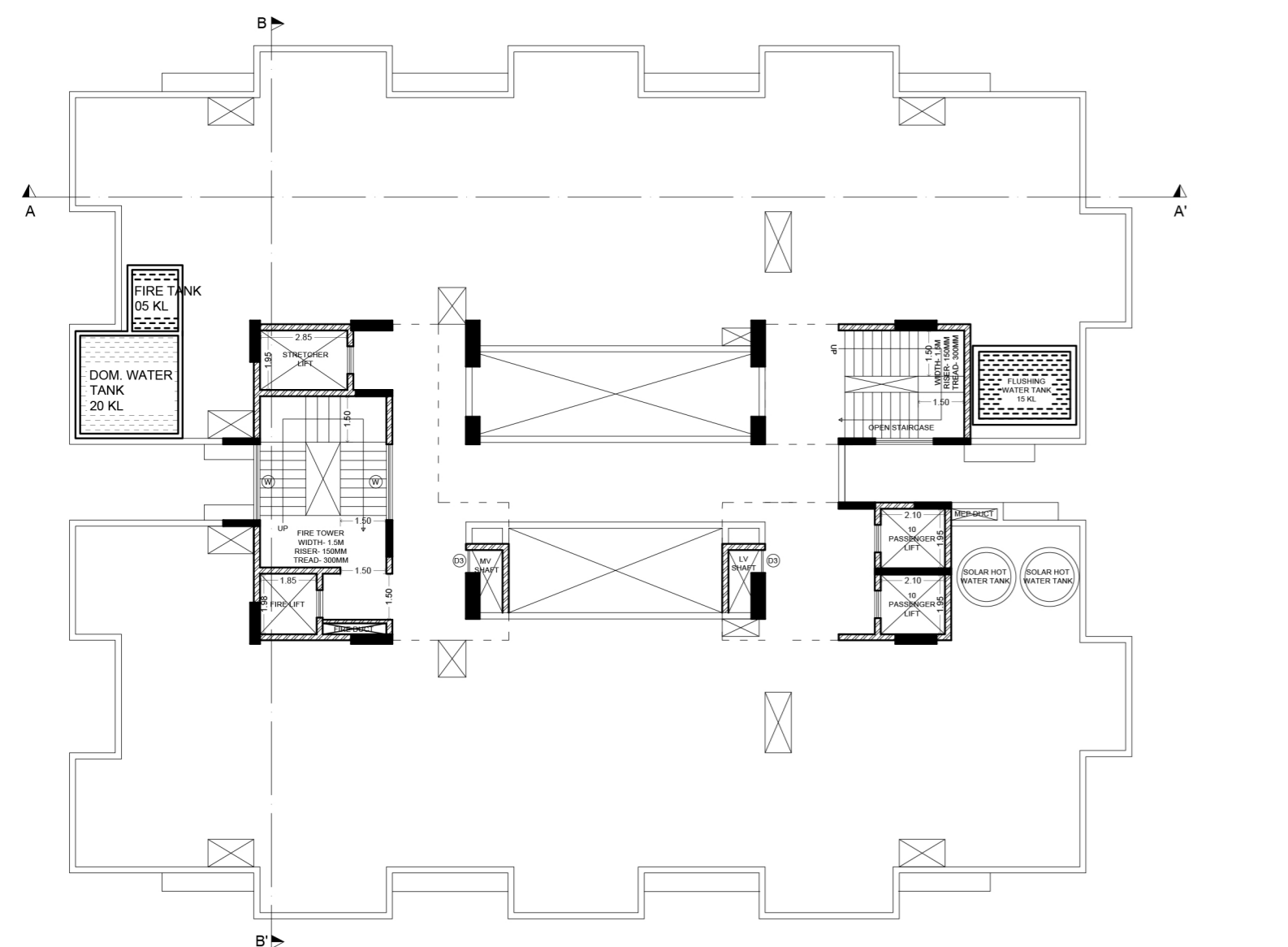
TOWER 1 - FIRST FLOOR PLAN



TOWER 1 - SECOND FLOOR PLAN



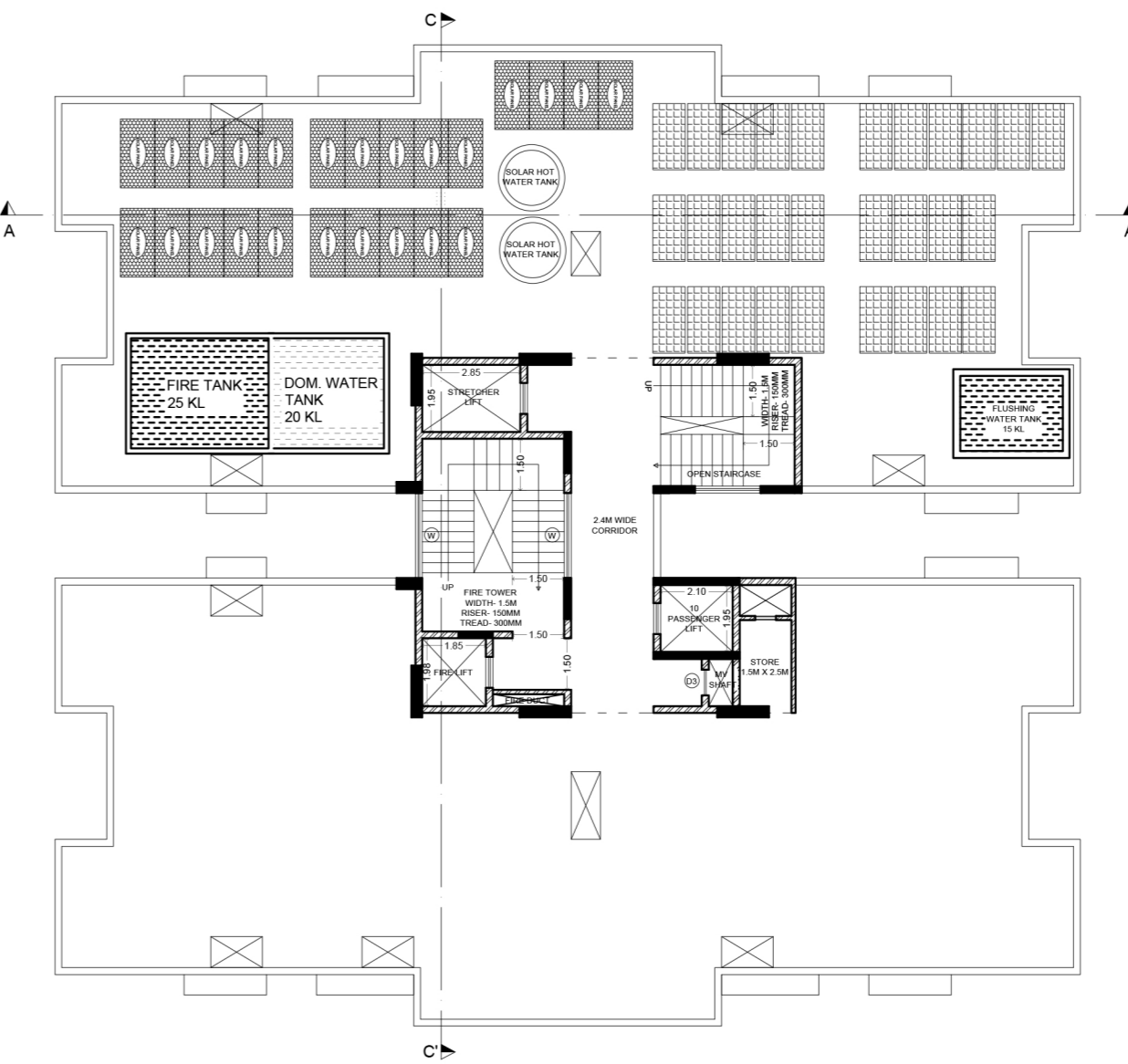
TOWER 1 TYPICAL THIRD FLOOR PLAN TO TWELFTH FLOOR PLAN



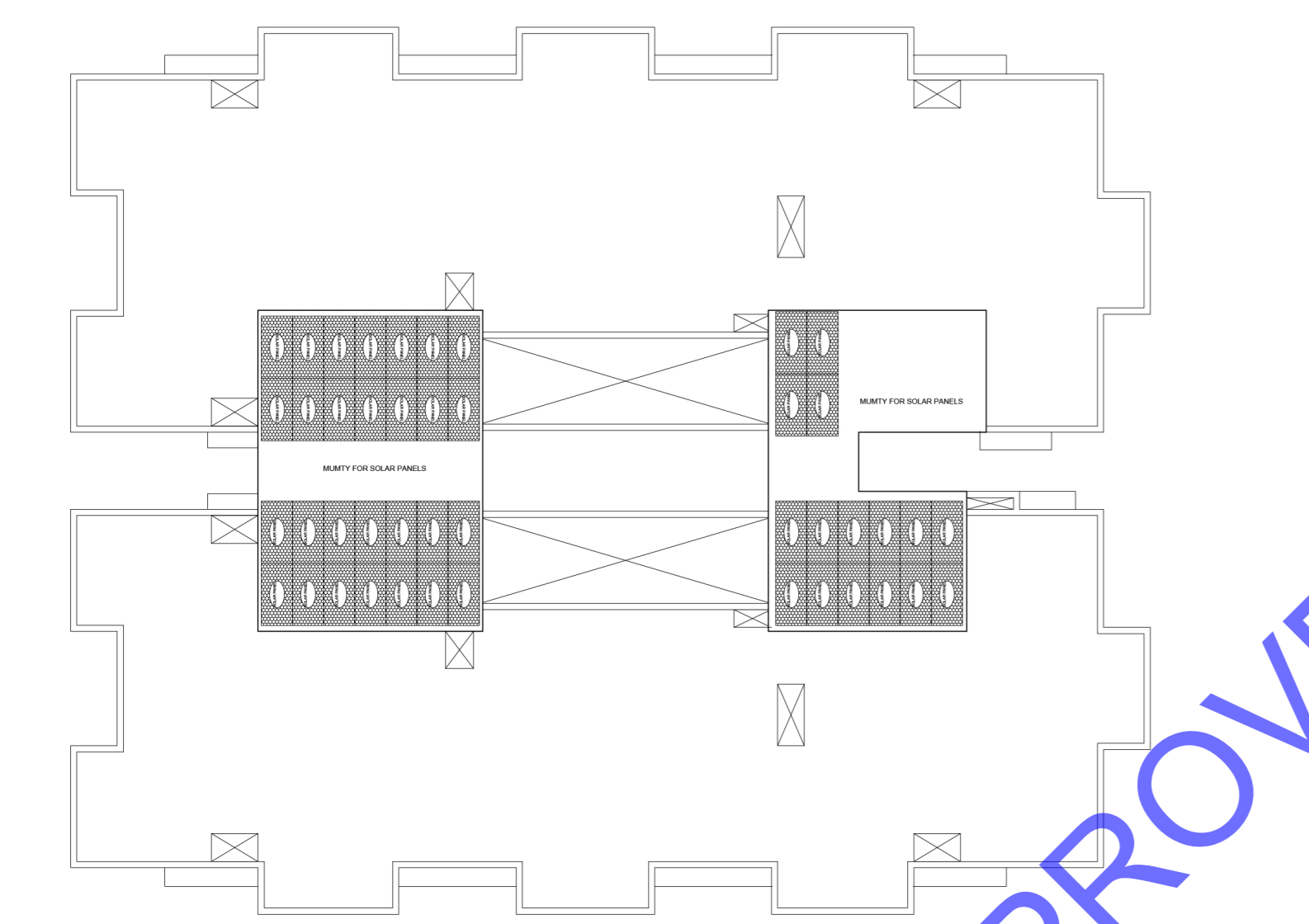
TOWER 1 - TERRACE PLAN



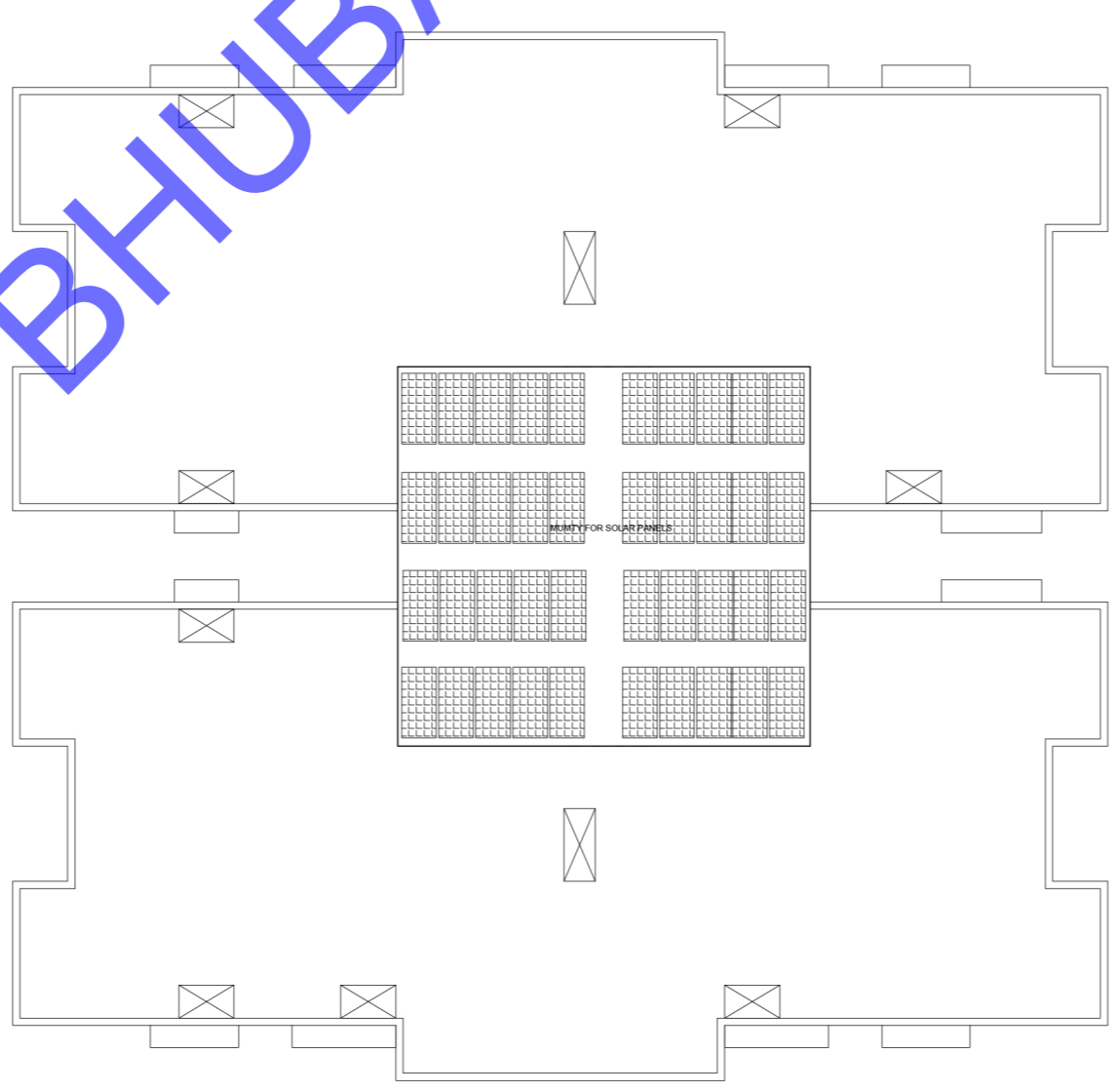
TOWER 2 TYPICAL FIRST FLOOR TO TENTH FLOOR PLAN



TOWER 2 - TERRACE PLAN



TOWER 1 - MUMTY PLAN



TOWER 2 - MUMTY PLAN

SOLAR LEGEND

S.NO.	DESCRIPTION	QTY.
1.0	MODULE Wp	440Wp
2.0	NO. OF MODULES	20
3.0	TOTAL DC CAPACITY	8.80KWp

SOLAR MODULE LOAD IS 25kg approx. INCLUDING STRUCTURE LOAD WOULD BE 20kg/Sqm (approx.)

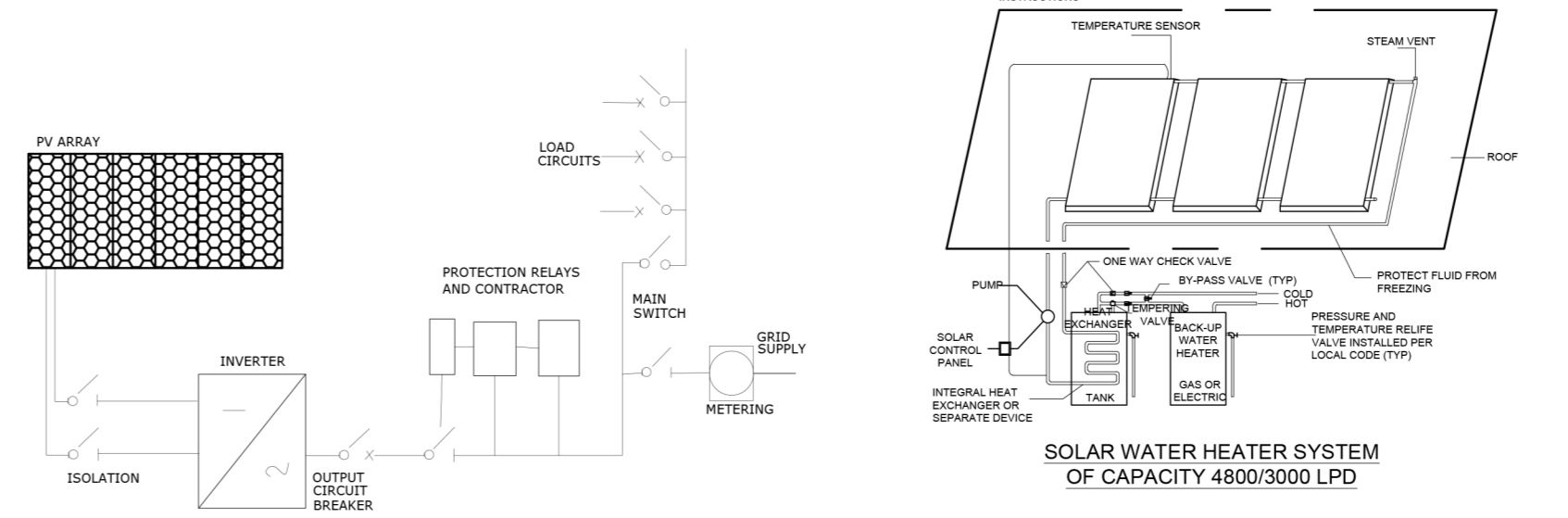
SOLAR LEGEND

S.NO.	DESCRIPTION	QTY.
1.0	MODULE Wp	440Wp
2.0	NO. OF MODULES	88
3.0	TOTAL DC CAPACITY	38.72KWp

SOLAR MODULE LOAD IS 25kg approx. INCLUDING STRUCTURE LOAD WOULD BE 20kg/Sqm (approx.)

CALCULATION FOR SOLAR HOT WATER SYSTEM

SNO.	DESCRIPTION	NO. OF FLATS	SOLAR CAPACITY (LPD) PER FLAT (LPD)	TOTAL SOLAR CAPACITY (LPD)	NOS. OF PANELS PROVIDED (125 LPD CAPACITY)
TOWER-1	S+12 FLOORS	64	75	4800	39
TOWER-2	S+10 FLOORS	40	75	3000	24



CARPET AREA OF 2BHK TYPE FLATS (AS PER RERA)

BLOCK	FLAT TYPE	NOS. OF UNITS	CARPET AREA	TOTAL CARPET AREA
TOWER 1	TYPE 1	12 NOS.	82.92 SQ. M.	995.0 SQ. M.
	TYPE 2	10 NOS.	90.61 SQ. M.	906.1 SQ. M.
	TYPE 3	10 NOS.	80.07 SQ. M.	800.7 SQ. M.
	TYPE 4	12 NOS.	82.92 SQ. M.	995.0 SQ. M.
	TYPE 5	10 NOS.	90.61 SQ. M.	906.1 SQ. M.
	TYPE 6	10 NOS.	83.25 SQ. M.	832.5 SQ. M.
TOTAL CARPET AREA OF 64 NOS. OF FLATS TOWER 1				5435.4 SQ. M.
TOTAL CARPET AREA OF AMENITY SPACE OF TOWER 1				277.9 SQ. M.
CARPET AREA OF 3BHK TYPE FLATS (AS PER RERA)				
TOWER 2	TYPE 1	10 NOS.	130.50 SQ. M.	1305.0 SQ. M.
	TYPE 2	10 NOS.	114.17 SQ. M.	1141.7 SQ. M.
	TYPE 3	10 NOS.	128.71 SQ. M.	1287.1 SQ. M.
	TYPE 4	10 NOS.	122.02 SQ. M.	1220.2 SQ. M.
TOTAL CARPET AREA OF 40 NOS. OF FLATS TOWER 2				4954.0 SQ. M.

SCHEDULE OF DOORS & WINDOWS :

NAME	DESCRIPTION	SIZES
DOORS		
D1	50mm PANELED TEAK DOOR	1.20 X 2.40
D2	50mm PANELED TEAK DOOR	1.05 X 2.40
D3	PLYWOOD FLUSH DOOR	0.75 X 2.40
D4	PVC SLIDING DOOR	2.40 X 2.25
D5	PLYWOOD FLUSH DOOR	0.90 X 2.40
D6	50mm PANELED TEAK DOOR	1.80 X 2.40
D7	PVC SLIDING DOOR	2.40 X 2.40
WINDOWS		
W1	GLAZED ALUMINIUM WINDOW	2.40 X 1.80
W2	GLAZED ALUMINIUM WINDOW	1.20 X 1.80
W3	GLAZED ALUMINIUM WINDOW	1.50 X 1.80
VENTILATORS		
V	GLAZED WOODEN VENTILATOR	0.60 X 1.20

NOTES:
 • ALL DIMENSIONS ARE IN METERS.
 • WRITTEN DIMENSION SHOULD BE FOLLOWED.
 • DRAWING MUST NOT BE SCALED.

PROJECT TITLE:
 PROPOSED B+S+12 AND B+S+10 STORED TWO NO'S RESIDENTIAL APARTMENT MIG CATEGORY BUILDINGS OVER PLOT NO - 26/0981, KHATA NO. 2761408 AND PLOT NO. 26/1182, KHATA NO. 2761263, MOUZILA - NIJAGAN/NIJAGAN (51), PS: CHANDAKA, TAHSIL: BHUBANESHWAR, ODISHA OF MRS. GITANJALI SAHOO THROUGH GPA HOLDER M/S URBAN LIVING DEVELOPERS LLP.

AREA STATEMENT

PARTICULARS	AREA (IN SQ. M.)
PLOT AREA (AS PER MEASUREMENT)	4456.17
ROAD AFFECTED AREA	83.93
NET PLOT AREA AFTER ROAD AFFECT	4372.23
PLOT AREA (AS DECLARATION)	4372.23
TOWER 1	
STILT FLOOR	847.43
1ST FLOOR	569.53
2ND FLOOR INCLUDING OWNERS ASSEMBLY SOCIETY AREA	797.00
TYPICAL 3RD FLOOR TO 12TH FLOOR (BUILT-UP AREA=788.58 X 10)	7885.80
TOTAL	9899.76
TOTAL CARPET AREA	5113.33
TOWER 2	
STILT FLOOR	675.01
TYPICAL 1ST FLOOR TO 10TH FLOOR (BUILT-UP AREA=675.83 X 10)	6756.30
TOTAL	7431.31
TOTAL CARPET AREA	4954.00
BASEMENT	2187.44
ALL TOTAL	19618.52
F.A.R.	15910.01
	3.64
PARKING	
REQUIRED MGD PARKING AREA	3077.50
OPEN PARKING	688.21
BASEMENT PARKING	2180.02
STILT PARKING	1188.65
TOTAL PARKING AREA PROVIDED	3866.88
COVERED AREA IN SQ. M.	1631.31
GROUND COVERAGE IN %	37.31
SOCIETY ASSEMBLY AREA REQUIRED	104.00
SOCIETY ASSEMBLY AREA PROVIDED	157.73

TOWER 1 (B+S+12) FRONT SIDE SETBACK: 8.92m. REAR SIDE SETBACK: 45.96m. LEFT SIDE SETBACK: 6.07m. RIGHT SIDE SETBACK: 7.50m.
 TOWER 2 (B+S+10) FRONT SIDE SETBACK: 56.31m. REAR SIDE SETBACK: 6.27m. LEFT SIDE SETBACK: 6.89m. RIGHT SIDE SETBACK: 7.50m.

LIST OF SHEETS

SL.NO.	DESCRIPTION	SHEET NO.
1.	SITE PLAN	01
2.	BASEMENT FLOOR PLAN	02
3.	STILT FLOOR PLAN	03
4.	TOWER 1 AND TOWER 2 FLOOR PLANS	04
5.	SECTIONS	05
6.	TOWER 1 ELEVATIONS	06
7.	TOWER 2 ELEVATIONS	07

SPACE FOR AUTHORITY:
 Digitally signed by GOURI SANKAR BHUYAN
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SHEET NO.: 04
 SCALE: 1:200
 (TO BE PRINTED IN A1 SIZE)

The drawing has been prepared as per the ODA (Planning & Building Standards) Rules, 2020.

ARCHITECTURAL CONSULTANT:
 rooted files studio

SEAL & SIGN OF TECHNICAL PERSON:
 Abh. Kulkarni
 ABIT KUMBHAR
 URBAN LIVING DEVELOPERS LLP
 CH. CODE: L33985

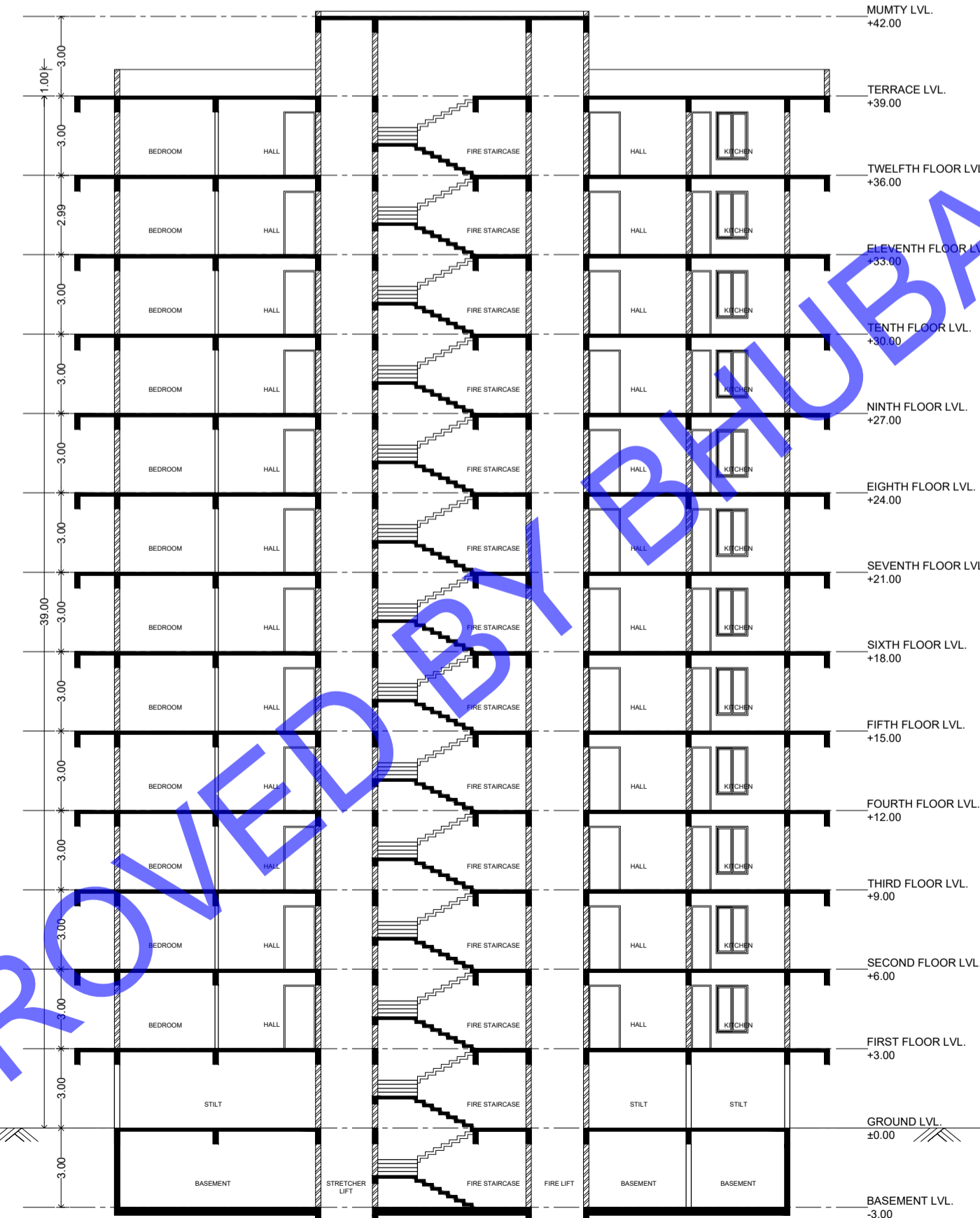
SEAL & SIGN OF MEP CONSULTANT:
 [Signature]

APPLICANT'S SIGN:
 Urban Living Developers LLP
 Designated Partner

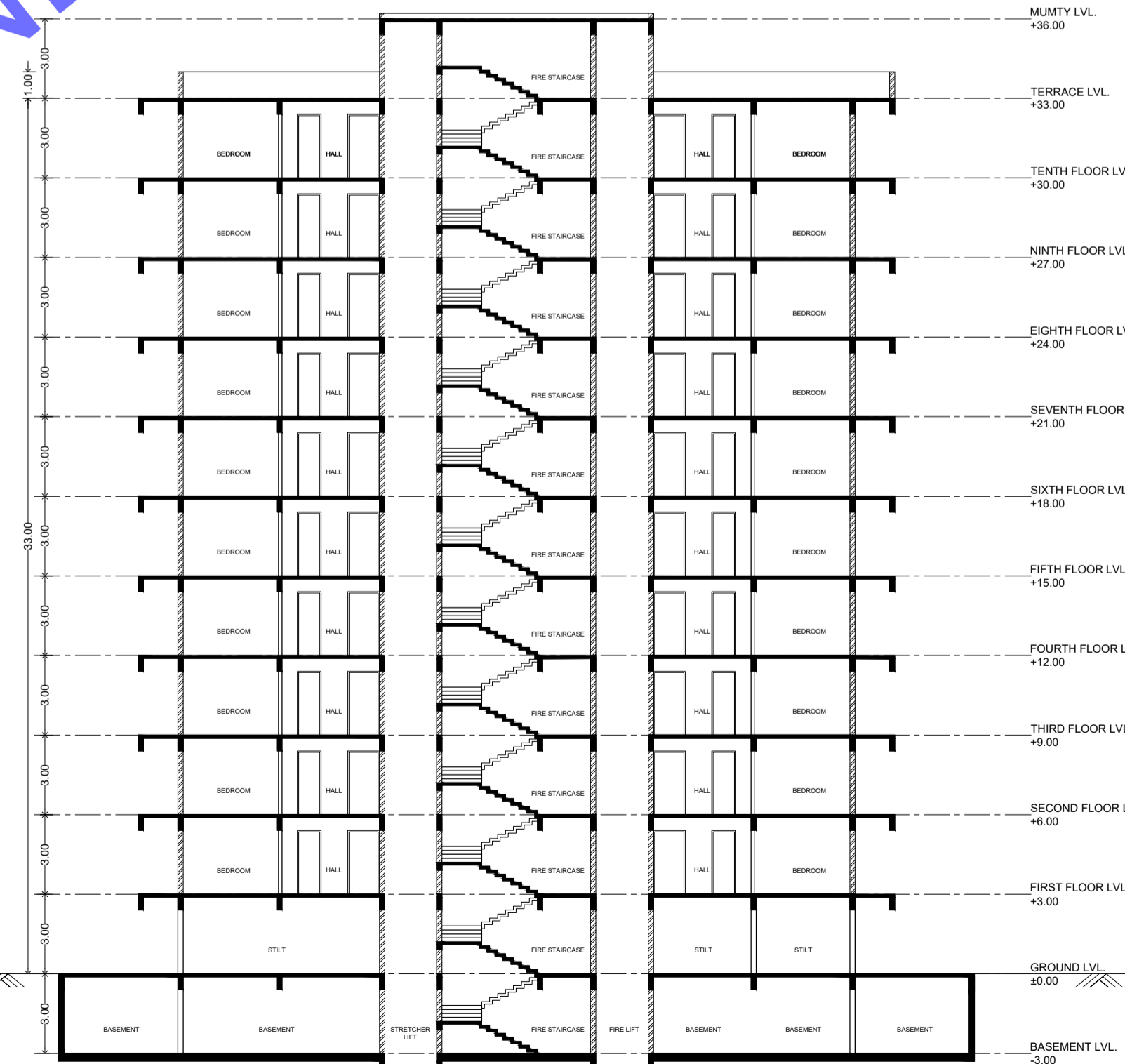
PERMISSION GRANTED UNDER SEC. 16 (3) OF ODA ACT 1982 SUBJECT TO CONDITIONS CONTAINED IN LETTER NUMBER BP/BDA/004917 DATED 22.09.2023. THIS PERMISSION IS VALID TILL 21.09.2026.



SECTION A-A' (TOWER 1 AND TOWER 2)



SECTION B-B' (TOWER 1)



SECTION C-C' (TOWER 2)

SCHEDULE OF DOORS & WINDOWS :		
NAME	DESCRIPTION	SIZES
DOORS		
D1	50mm PANELED TEAK DOOR	1.20 X 2.40
D2	50mm PANELED TEAK DOOR	1.05 X 2.40
D3	PLYWOOD FLUSH DOOR	0.75 X 2.40
D4	PVC SLIDING DOOR	2.40 X 2.25
D5	PLYWOOD FLUSH DOOR	0.90 X 2.40
D6	50mm PANELED TEAK DOOR	1.80 X 2.40
D7	PVC SLIDING DOOR	2.40 X 2.40
WINDOWS		
W1	GLAZED ALUMINIUM WINDOW	2.40 X 1.80
W2	GLAZED ALUMINIUM WINDOW	1.20 X 1.80
W3	GLAZED ALUMINIUM WINDOW	1.50 X 1.80
VENTILATORS		
V	GLAZED WOODEN VENTILATOR	0.60 X 1.20

NOTES:
 • ALL DIMENSIONS ARE IN METERS.
 • WRITTEN DIMENSION SHOULD BE FOLLOWED.
 • DRAWING MUST NOT BE SCALED.

PROJECT TITLE:
 PROPOSED B+S+12 AND B+S+10 STORED TWO NO'S RESIDENTIAL APARTMENT MHG CATEGORY BUILDINGS OVER PLOT NO - 260/981, KHATA NO. 276/408 AND PLOT NO. 261/1152, KHATA NO. 276/1263, MOUZA - NIJAGAN/NIJAGAN (51), PS: CHANDAKA, TAHSIL: BHUBANESHWAR, ODISHA OF MRS. GITANJALI SAHO THROUGH GPA HOLDER M/S URBAN LIVING DEVELOPERS LLP.

AREA STATEMENT	
PARTICULARS	AREA (IN SQ.M.)
PLOT AREA (AS PER MEASUREMENT)	4456.17
ROAD AFFECTED AREA	83.93
NET PLOT AREA AFTER ROAD AFFECT	4372.23
PLOT AREA (AS DECLARATION)	4372.23
TOWER 1	
STILT FLOOR	847.43
1ST FLOOR	569.53
2ND FLOOR (INCLUDING OWNERS ASSEMBLY SOCIETY AREA)	797.00
TYPICAL 3RD FLOOR TO 12TH FLOOR (BUILT-UP AREA=768.58 X 10)	7685.80
TOTAL	9899.76
TOTAL CARPET AREA	9115.15
TOWER 2	
STILT FLOOR	675.01
TYPICAL 1ST FLOOR TO 10TH FLOOR (BUILT-UP AREA=675.83 X 10)	6756.30
TOTAL	7431.31
TOTAL CARPET AREA	6954.00
BASEMENT	2187.44
F.A.R.	3.64
ALL TOTAL	19518.52
	19910.01
PARKING	
REQUIRED M/G PARKING AREA	3977.50
OPEN PARKING	689.21
BASEMENT PARKING	2180.02
STILT PARKING	1118.65
TOTAL PARKING AREA PROVIDED	3986.86
COVERED AREA IN SQ. M.	1631.31
GROUND COVERAGE IN %	37.31
SOCIETY ASSEMBLY AREA REQUIRED	104.00
SOCIETY ASSEMBLY AREA PROVIDED	157.73

TOWER 1 (B+S+12) TOWER 2 (B+S+10)
 • FRONT SIDE SETBACK: 8.92m. • FRONT SIDE SETBACK: 56.31m.
 • REAR SIDE SETBACK: 45.96m. • REAR SIDE SETBACK: 6.27m.
 • LEFT SIDE SETBACK: 6.07m. • LEFT SIDE SETBACK: 6.89m.
 • RIGHT SIDE SETBACK: 7.50m. • RIGHT SIDE SETBACK: 7.50m.

LIST OF SHEETS		
SL.NO.	DESCRIPTION	SHEET NO.
1	SITE PLAN	01
2	BASEMENT FLOOR PLAN	02
3	STILT FLOOR PLAN	03
4	TOWER 1 AND TOWER 2 FLOOR PLANS	04
5	SECTIONS	05
6	TOWER 1 ELEVATIONS	06
7	TOWER 2 ELEVATIONS	07

SPACE FOR AUTHORITY:
 Digitally signed by GOURI SANKAR BHUYAN
 DN: cn=BHUBANESHWAR DEVELOPMENT AUTHORITY, 2.5.4.20=0467020621f1e15b71f270dcd1e cb1b1a7eab4d7e3386a6b7a287834a32 4c12, ou=H AND UD, o=6806019, postalCode=751012, st=Odisha, serialNumber=7aa2392917c521b9699d8 fba2673ecce2e8b164946e195e30749 32224e3a5, cn=GOURI SANKAR BHUYAN

SHEET NO.: 05 SCALE: 1:200
 (TO BE PRINTED IN A1 SIZE)

The drawing has been prepared as per the ODA (Planning & Building Standards) Rules, 2020.

ARCHITECTURAL CONSULTANT:
 rooted sites studio

SEAL & SIGN OF TECHNICAL PERSON: *Abh Kulkarni*
 SEAL & SIGN OF MEP CONSULTANT: *Arjun*

APPLICANT'S SIGN:
 Urban Living Developers LLP
 Designated Partner

APPROVED BY BHUBANESHWAR DEVELOPMENT AUTHORITY

SCHEDULE OF DOORS & WINDOWS :		
NAME	DESCRIPTION	SIZES
DOORS		
D1	50mm PANELED TEAK DOOR	1.20 X 2.40
D2	50mm PANELED TEAK DOOR	1.05 X 2.40
D3	PLYWOOD FLUSH DOOR	0.75 X 2.40
D4	PVC SLIDING DOOR	2.40 X 2.25
D5	PLYWOOD FLUSH DOOR	0.90 X 2.40
D6	50mm PANELED TEAK DOOR	1.80 X 2.40
D7	PVC SLIDING DOOR	2.40 X 2.40
WINDOWS		
W1	GLAZED ALUMINIUM WINDOW	2.40 X 1.80
W2	GLAZED ALUMINIUM WINDOW	1.20 X 1.80
W3	GLAZED ALUMINIUM WINDOW	1.50 X 1.80
VENTILATORS		
V	GLAZED WOODEN VENTILATOR	0.60 X 1.20

NOTES:
 • ALL DIMENSIONS ARE IN METERS.
 • WRITTEN DIMENSION SHOULD BE FOLLOWED.
 • DRAWING MUST NOT BE SCALED.

PROJECT TITLE:
PROPOSED B+S+12 AND B+S+10 STORED TWO NO'S RESIDENTIAL APARTMENT MIG CATEGORY BUILDINGS OVER PLOT NO - 260/981, KHATA NO. 276408 AND PLOT NO. 2671182, KHATA NO. 2761233, MOUZA - NIJAGAON/NIJAGAN (51), PS: CHANDAKA, TAHSIL: BHUBANESHWAR, ODISHA OF MRS. GITANJALI SAHO THROUGH GPA HOLDER M/S URBAN LIVING DEVELOPERS LLP.

AREA STATEMENT	
PARTICULARS	AREA (IN SQ.M.)
PLOT AREA (AS PER MEASUREMENT)	4456.17
ROAD AFFECTED AREA	83.93
NET PLOT AREA AFTER ROAD AFFECT	4372.23
PLOT AREA (AS DECLARATION)	4372.23


PARTICULARS	BUILT-UP AREA IN SQ.M.	FLOOR AREA IN SQ.M.
TOWER 1		
STILT FLOOR	847.43	62.82
1ST FLOOR	569.53	569.53
2ND FLOOR (INCLUDING OWNERS ASSEMBLY SOCIETY AREA)	797.00	797.00
TYPICAL 3RD FLOOR TO 12TH FLOOR (BUILT-UP AREA=768.58 X 10)	7685.80	7685.80
TOTAL	9899.76	9115.15
TOTAL CARPET AREA		6713.33
TOWER 2		
STILT FLOOR	675.01	38.55
TYPICAL 1ST FLOOR TO 10TH FLOOR (BUILT-UP AREA=675.83 X 10)	6756.30	6756.30
TOTAL	7431.31	6794.85
TOTAL CARPET AREA		4954.00
BASEMENT	2187.44	00
F.A.R.		3.64
ALL TOTAL	19518.52	19910.01

PARKING	
REQUIRED MIG PARKING AREA	3977.50
OPEN PARKING	689.21
BASEMENT PARKING	2180.02
STILT PARKING	1118.65
TOTAL PARKING AREA PROVIDED	3966.88
COVERED AREA IN SQ. M.	1631.31
GROUND COVERAGE IN %	37.31
SOCIETY ASSEMBLY AREA REQUIRED	104.00
SOCIETY ASSEMBLY AREA PROVIDED	157.73

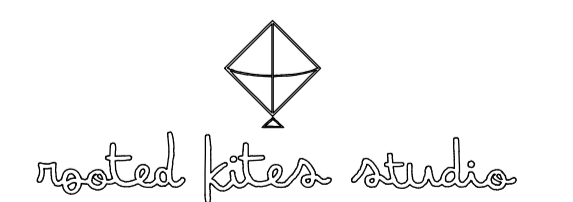
TOWER 1 (B+S+12) TOWER 2 (B+S+10)
 • FRONT SIDE SETBACK: 8.92m. • FRONT SIDE SETBACK: 56.31m.
 • REAR SIDE SETBACK: 45.96m. • REAR SIDE SETBACK: 6.27m.
 • LEFT SIDE SETBACK: 6.07m. • LEFT SIDE SETBACK: 6.89m.
 • RIGHT SIDE SETBACK: 7.50m. • RIGHT SIDE SETBACK: 7.50m.


LIST OF SHEETS		
SL. NO.	DESCRIPTION	SHEET NO.
1	SITE PLAN	01
2	BASEMENT FLOOR PLAN	02
3	STILT FLOOR PLAN	03
4	TOWER 1 AND TOWER 2 FLOOR PLANS	04
5	SECTIONS	05
6	TOWER 1 ELEVATIONS	06
7	TOWER 2 ELEVATIONS	07


SPACE FOR AUTHORITY:
 Digitally signed by GOURI SANKAR BHUYAN
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The drawing has been prepared as per the ODA (Planning & Building Standards) Rules, 2020.

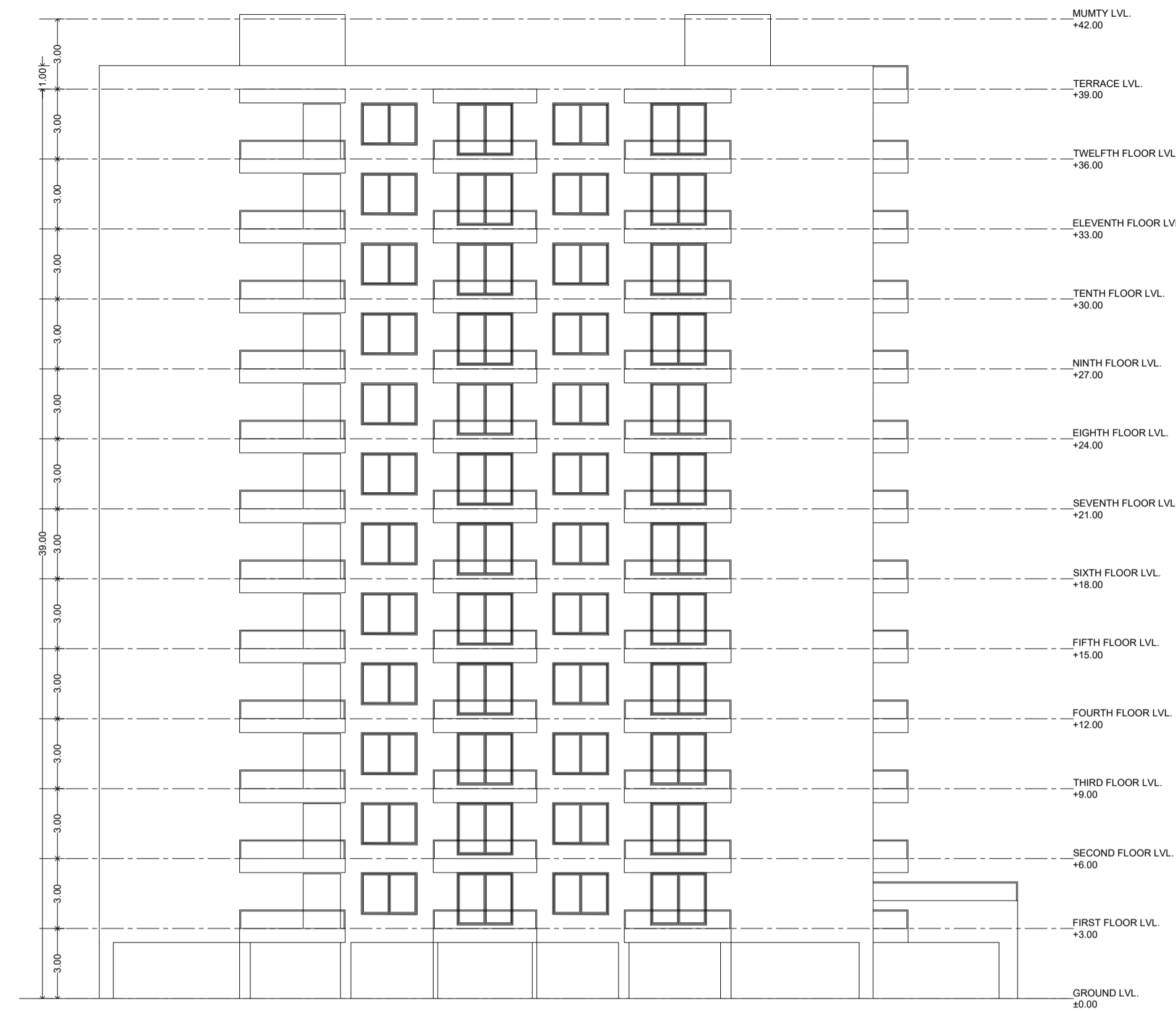
ARCHITECTURAL CONSULTANT:


SEAL & SIGN OF TECHNICAL PERSON:

 AJIT KUMBHAR
 LICENSE NUMBER: 04/2024/132985

SEAL & SIGN OF MEP CONSULTANT:

 NEW DELHI

APPLICANT'S SIGN:

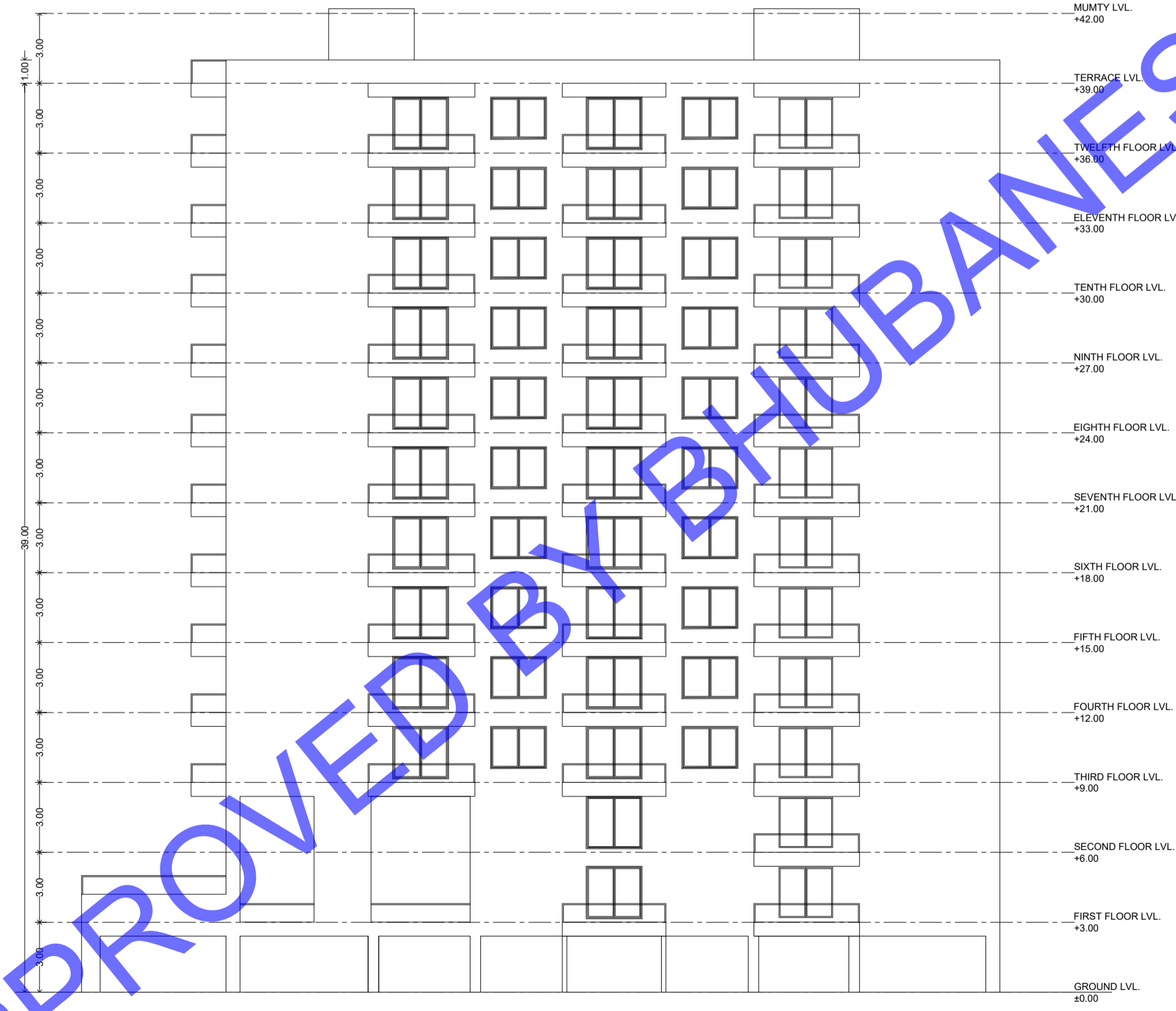
 Urban Living Developers LLP
 Designated Partner



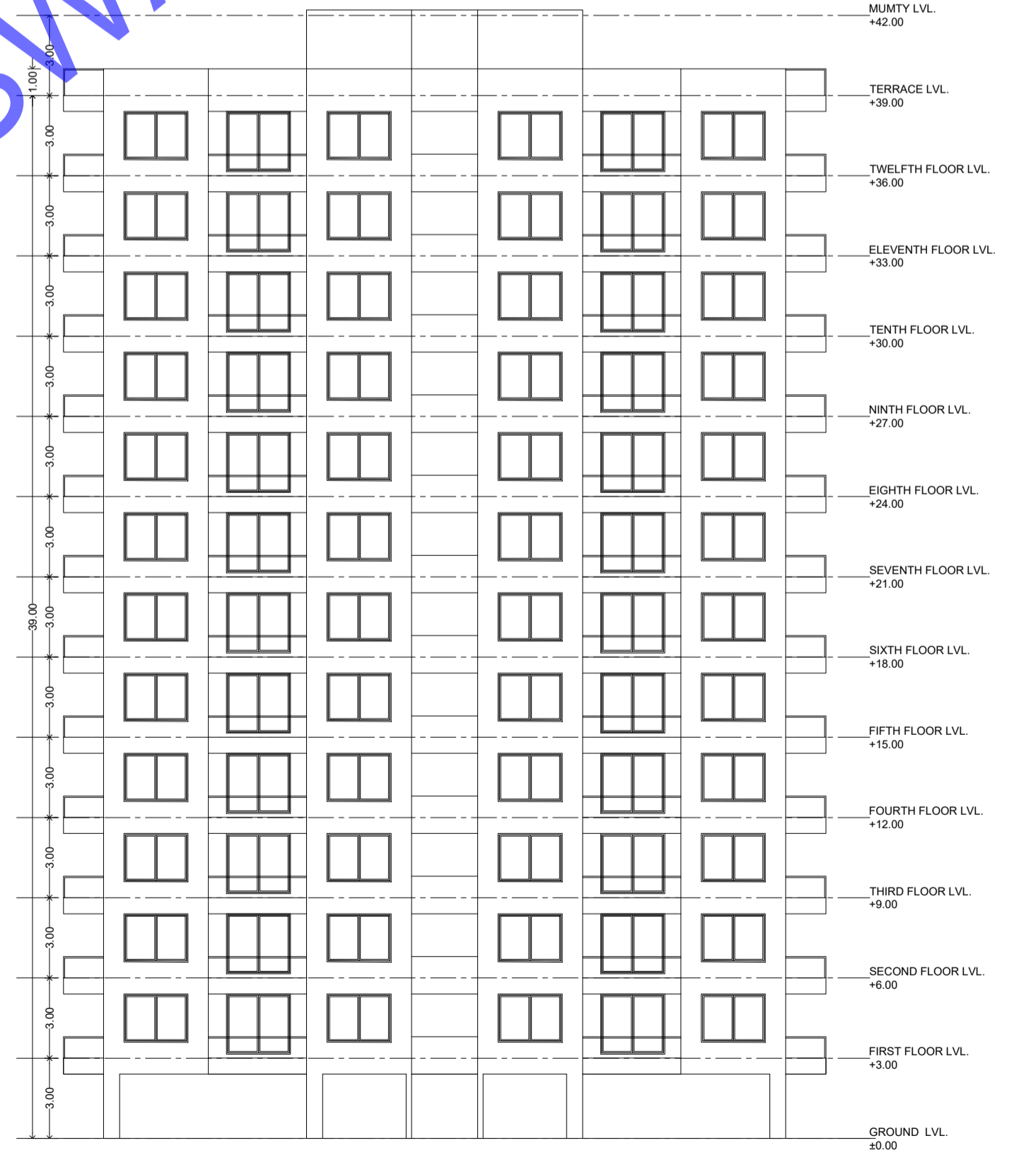
TOWER 1 - SOUTH ELEVATION



TOWER 1 - EAST ELEVATION



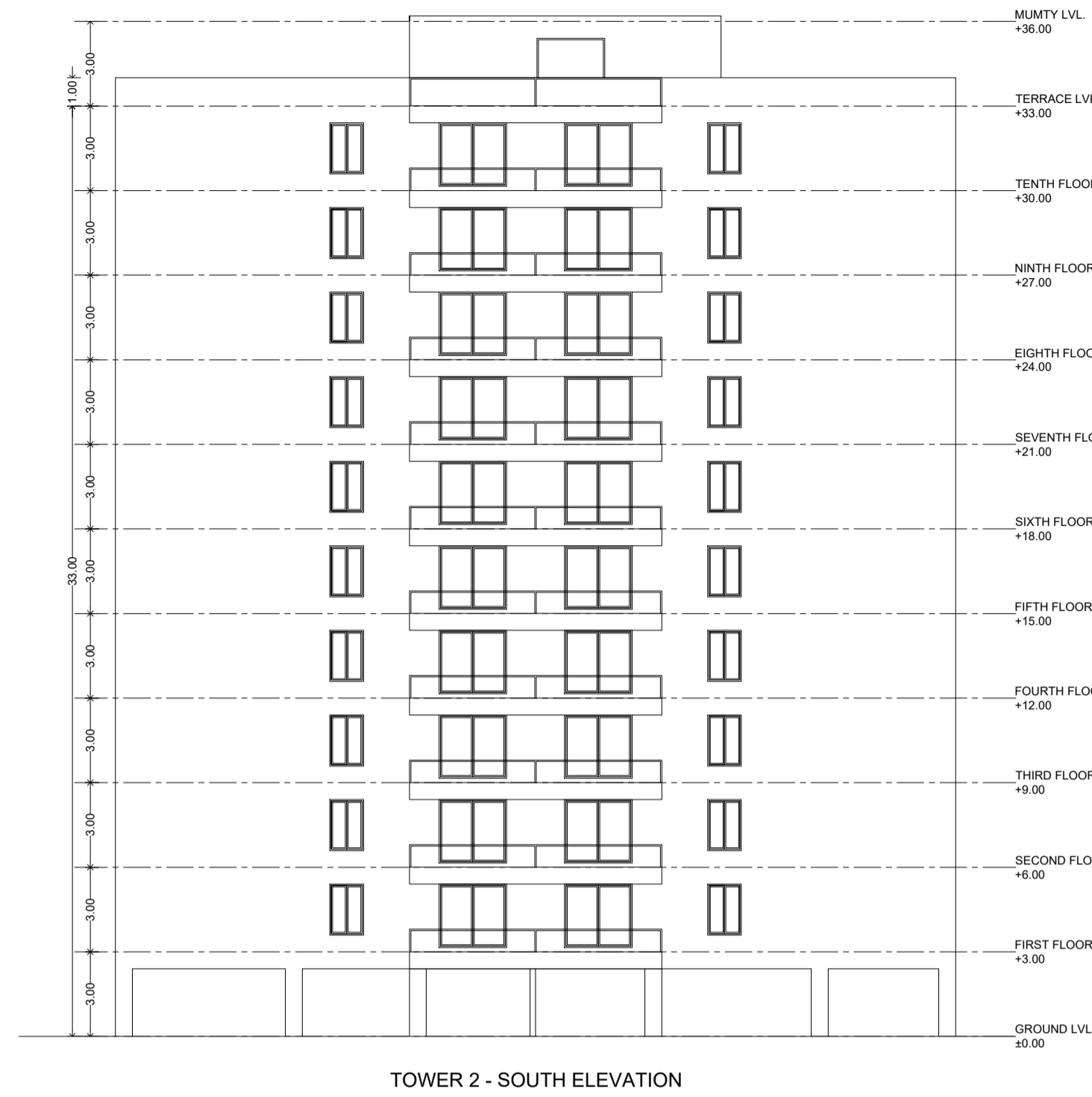
TOWER 1 - NORTH ELEVATION



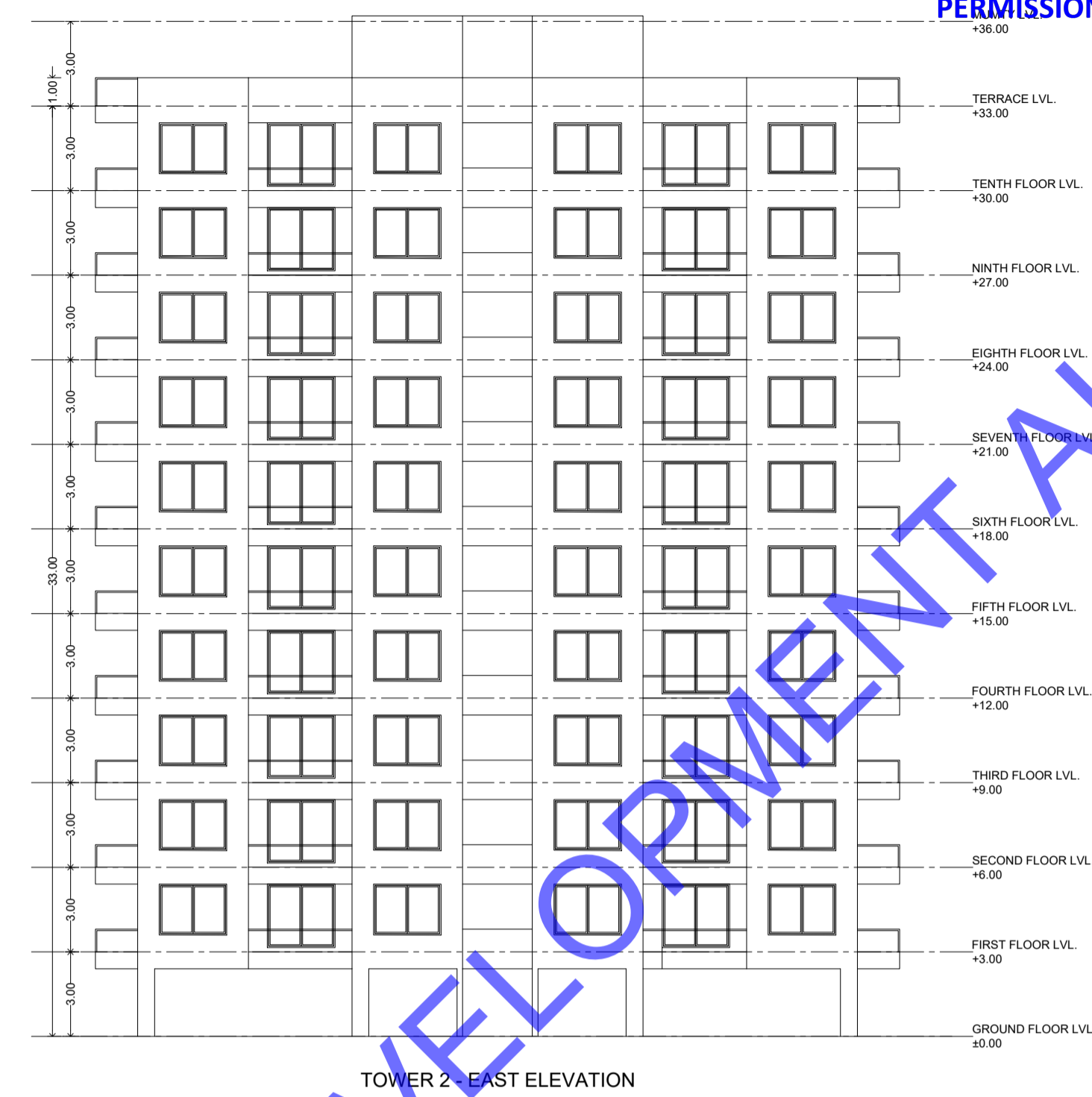
TOWER 1 - WEST ELEVATION

APPROVED BY BHUBANESWAR DEVELOPMENT AUTHORITY

PERMISSION GRANTED UNDER SEC. 16 (3) OF ODA ACT 1982 SUBJECT TO CONDITIONS CONTAINED IN LETTER NUMBER BP/BDA/004917 DATED 22.09.2023. THIS PERMISSION IS VALID TILL 21.09.2026.



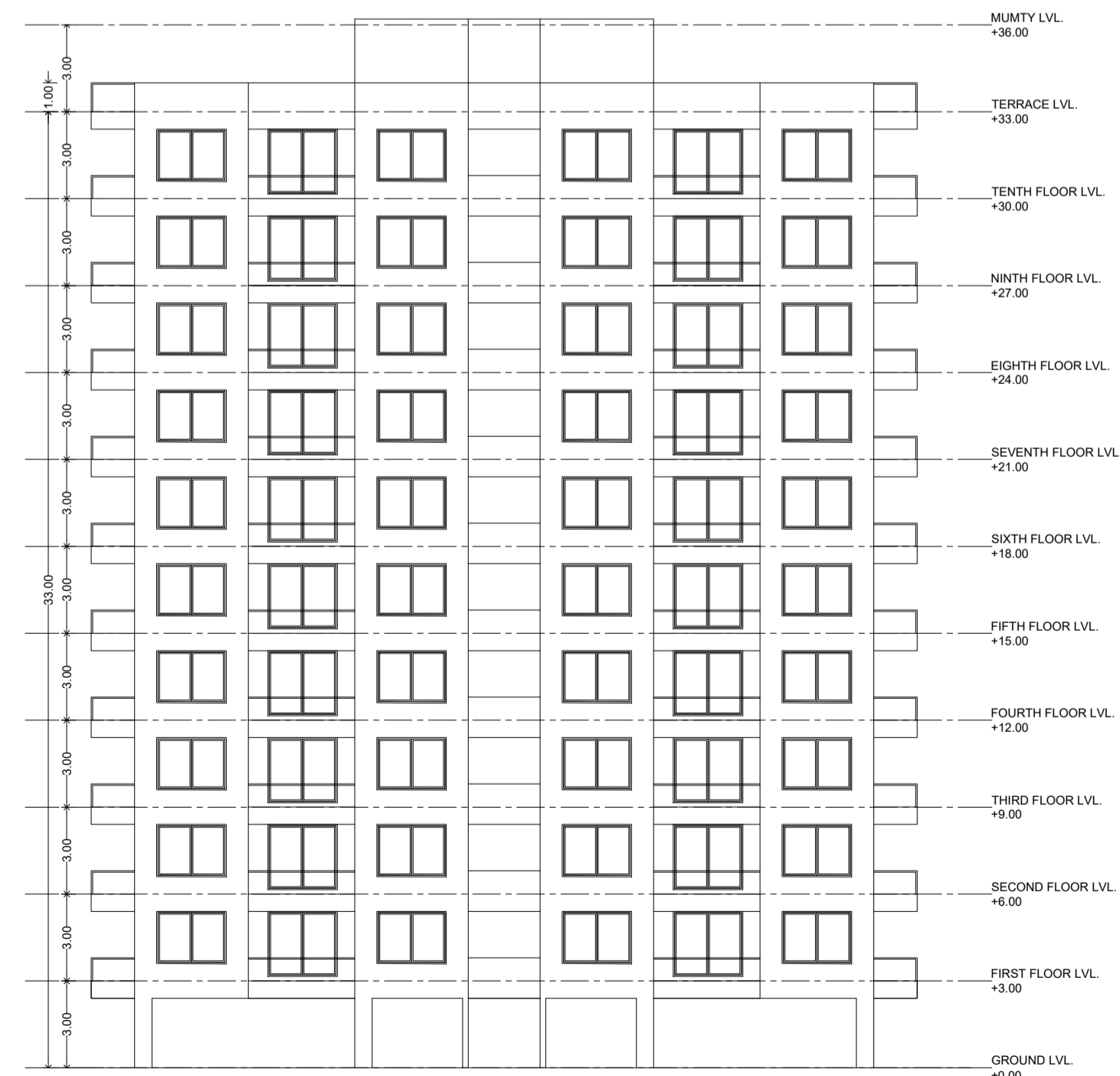
TOWER 2 - SOUTH ELEVATION



TOWER 2 - EAST ELEVATION



TOWER 2 - NORTH ELEVATION



TOWER 2 - WEST ELEVATION

APPROVED BY BHUBANESWAR DEVELOPMENT AUTHORITY

SCHEDULE OF DOORS & WINDOWS :		
NAME	DESCRIPTION	SIZES
DOORS		
D1	50mm PANELED TEAK DOOR	1.20 X 2.40
D2	50mm PANELED TEAK DOOR	1.05 X 2.40
D3	PLYWOOD FLUSH DOOR	0.75 X 2.40
D4	PVC SLIDING DOOR	2.40 X 2.25
D5	PLYWOOD FLUSH DOOR	0.90 X 2.40
D6	50mm PANELED TEAK DOOR	1.80 X 2.40
D7	PVC SLIDING DOOR	2.40 X 2.40
WINDOWS		
W1	GLAZED ALUMINIUM WINDOW	2.40 X 1.80
W2	GLAZED ALUMINIUM WINDOW	1.20 X 1.80
W3	GLAZED ALUMINIUM WINDOW	1.50 X 1.80
VENTILATORS		
V	GLAZED WOODEN VENTILATOR	0.60 X 1.20

NOTES:
 • ALL DIMENSIONS ARE IN METERS.
 • WRITTEN DIMENSION SHOULD BE FOLLOWED.
 • DRAWING MUST NOT BE SCALED.

PROJECT TITLE:
 PROPOSED B+S+12 AND B+S+10 STORIED TWO NO'S RESIDENTIAL APARTMENT MHG CATEGORY BUILDINGS OVER PLOT NO - 260/981, KHATA NO. 276/408 AND PLOT NO. 261/112, KHATA NO. 276/1233, MOUZA - NIJAGAON/NIJAGAN (51), PS: CHANDAKA, TAHSIL: BHUBANESHWAR, ODISHA OF MRS. GITANJALI SAHOO THROUGH GPA HOLDER M/S URBAN LIVING DEVELOPERS LLP.

AREA STATEMENT	
PARTICULARS	AREA (IN SQ.M.)
PLOT AREA (AS PER MEASUREMENT)	4456.17
ROAD AFFECTED AREA	83.93
NET PLOT AREA AFTER ROAD AFFECT	4372.23
PLOT AREA (AS DECLARATION)	4372.23
TOWER 1	
STILT FLOOR	847.43
1ST FLOOR	569.53
2ND FLOOR (INCLUDING OWNERS ASSEMBLY SOCIETY AREA)	797.00
TYPICAL 3RD FLOOR TO 12TH FLOOR (BUILT-UP AREA=768.58 X 10)	7685.80
TOTAL	9899.76
TOTAL CARPET AREA	9115.15
TOWER 2	
STILT FLOOR	675.01
TYPICAL 1ST FLOOR TO 10TH FLOOR (BUILT-UP AREA=675.83 X 10)	6758.30
TOTAL	7433.31
TOTAL CARPET AREA	4954.00
BASEMENT	2187.44
ALL TOTAL	19618.52
F.A.R.	3.64
PARKING	
REQUIRED M/G PARKING AREA	3977.50
OPEN PARKING	689.21
BASEMENT PARKING	2180.02
STILT PARKING	1118.65
TOTAL PARKING AREA PROVIDED	3966.88
COVERED AREA IN SQ. M.	1631.31
GROUND COVERAGE IN %	37.31
SOCIETY ASSEMBLY AREA REQUIRED	104.00
SOCIETY ASSEMBLY AREA PROVIDED	157.73

TOWER 1 (B+S+12) **TOWER 2 (B+S+10)**
 • FRONT SIDE SETBACK: 8.92m. • FRONT SIDE SETBACK: 56.31m.
 • REAR SIDE SETBACK: 45.66m. • REAR SIDE SETBACK: 6.27m.
 • LEFT SIDE SETBACK: 6.07m. • LEFT SIDE SETBACK: 6.89m.
 • RIGHT SIDE SETBACK: 7.50m. • RIGHT SIDE SETBACK: 7.50m.

LIST OF SHEETS		
SL. NO.	DESCRIPTION	SHEET NO.
1	SITE PLAN	01
2	BASEMENT FLOOR PLAN	02
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4	TOWER 1 AND TOWER 2 FLOOR PLANS	04
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7	TOWER 2 ELEVATIONS	07

SPACE FOR AUTHORITY:
 Digitally signed by GOURI SANKAR BHUYAN
 DN: c=IN, o=BHUBANESWAR DEVELOPMENT AUTHORITY, 2.5.4.20-046703062116158711270dcd1ecb1b1a7eab4d7e33806af67a287834a324c12, ou=H AND UD, CN=6806019, postalCode=751012, st=Odisha, serialNumber=7a2392917a521b9699d8fbb2673e2e2e6b1649446e195e30749322243a5, cn=GOURI SANKAR BHUYAN
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SHEET NO.: 07 SCALE: 1:200
 (TO BE PRINTED IN A1 SIZE)

The drawing has been prepared as per the ODA (Planning & Building Standards) Rules, 2020.

ARCHITECTURAL CONSULTANT:

SEAL & SIGN OF TECHNICAL PERSON:

 SEAL & SIGN OF MEP CONSULTANT:

APPLICANT'S SIGN:

 Urban Living Developers LLP
 Designated Partner