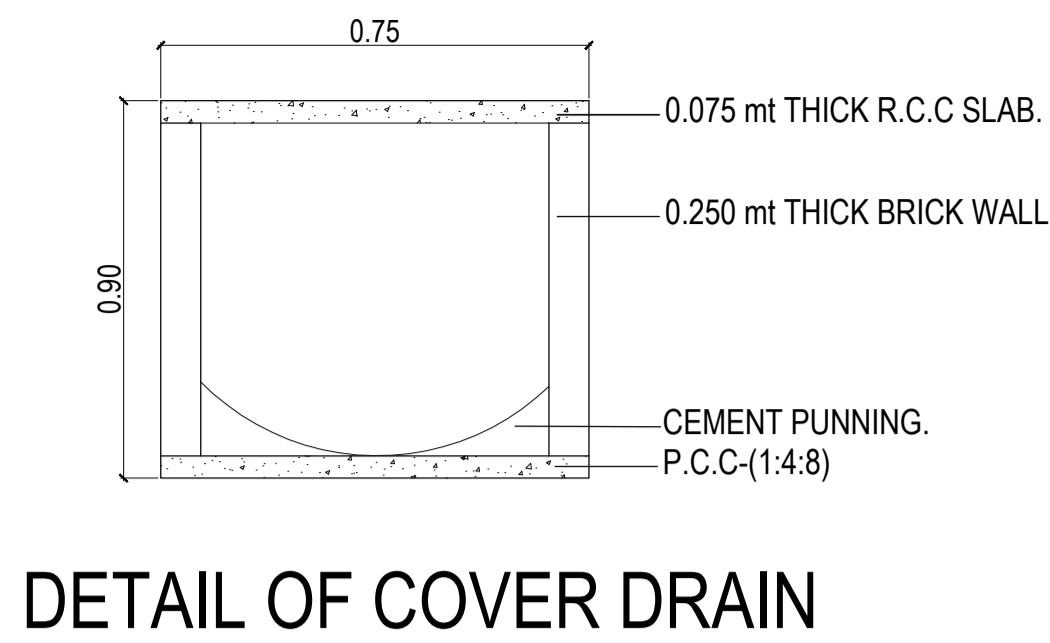
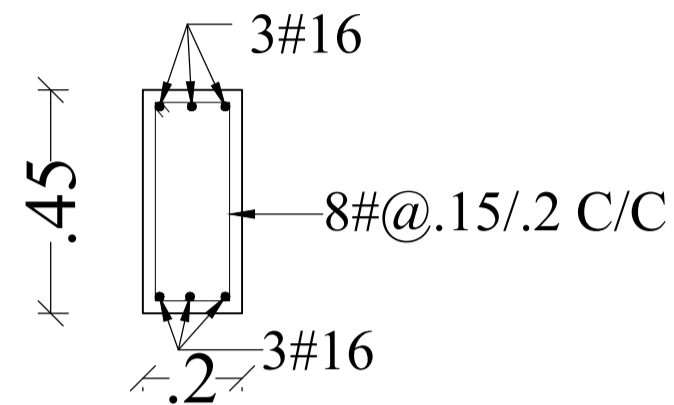


PLAN OF HARVESTING PIT

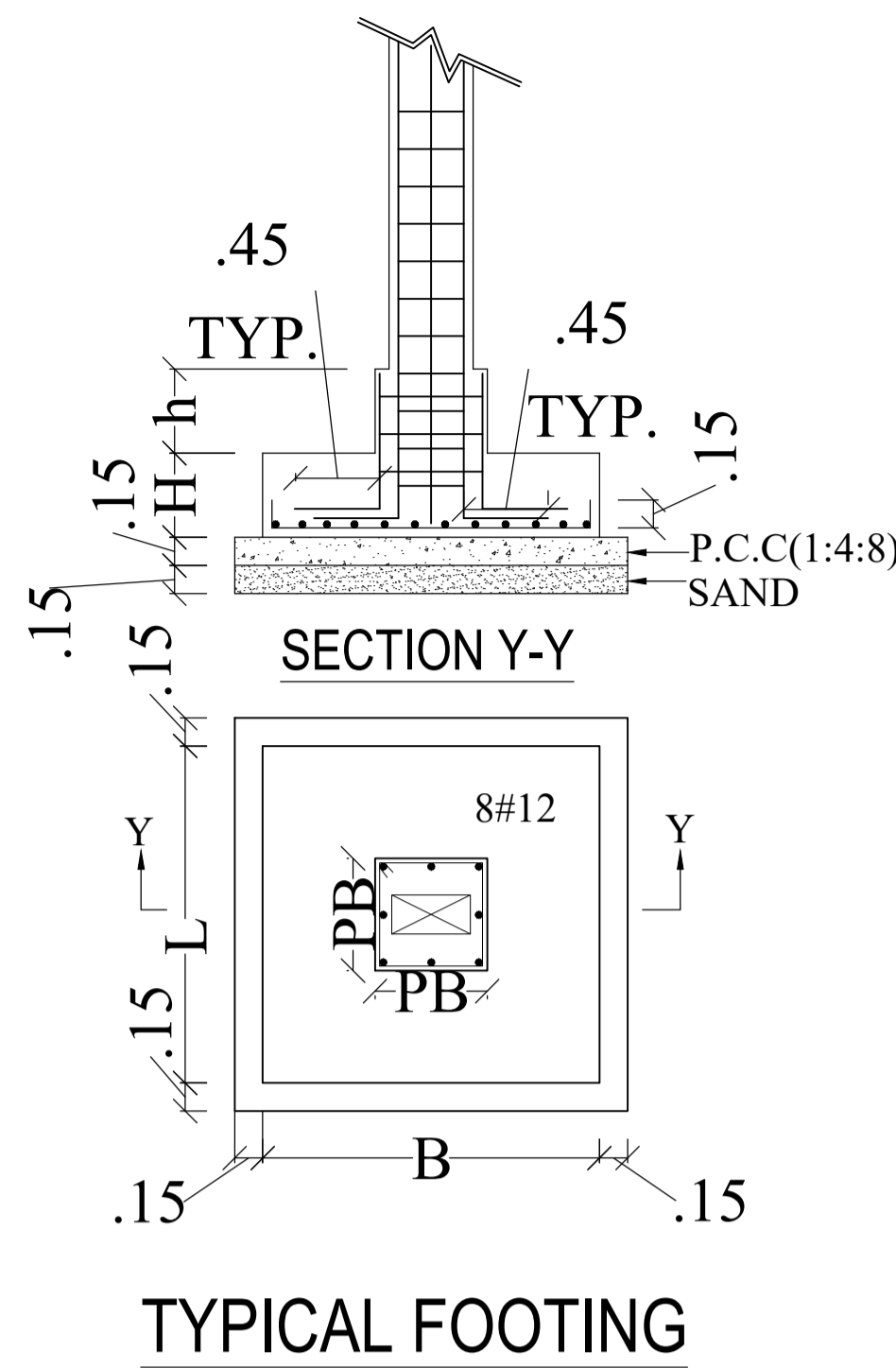


DETAIL OF COVER DRAIN

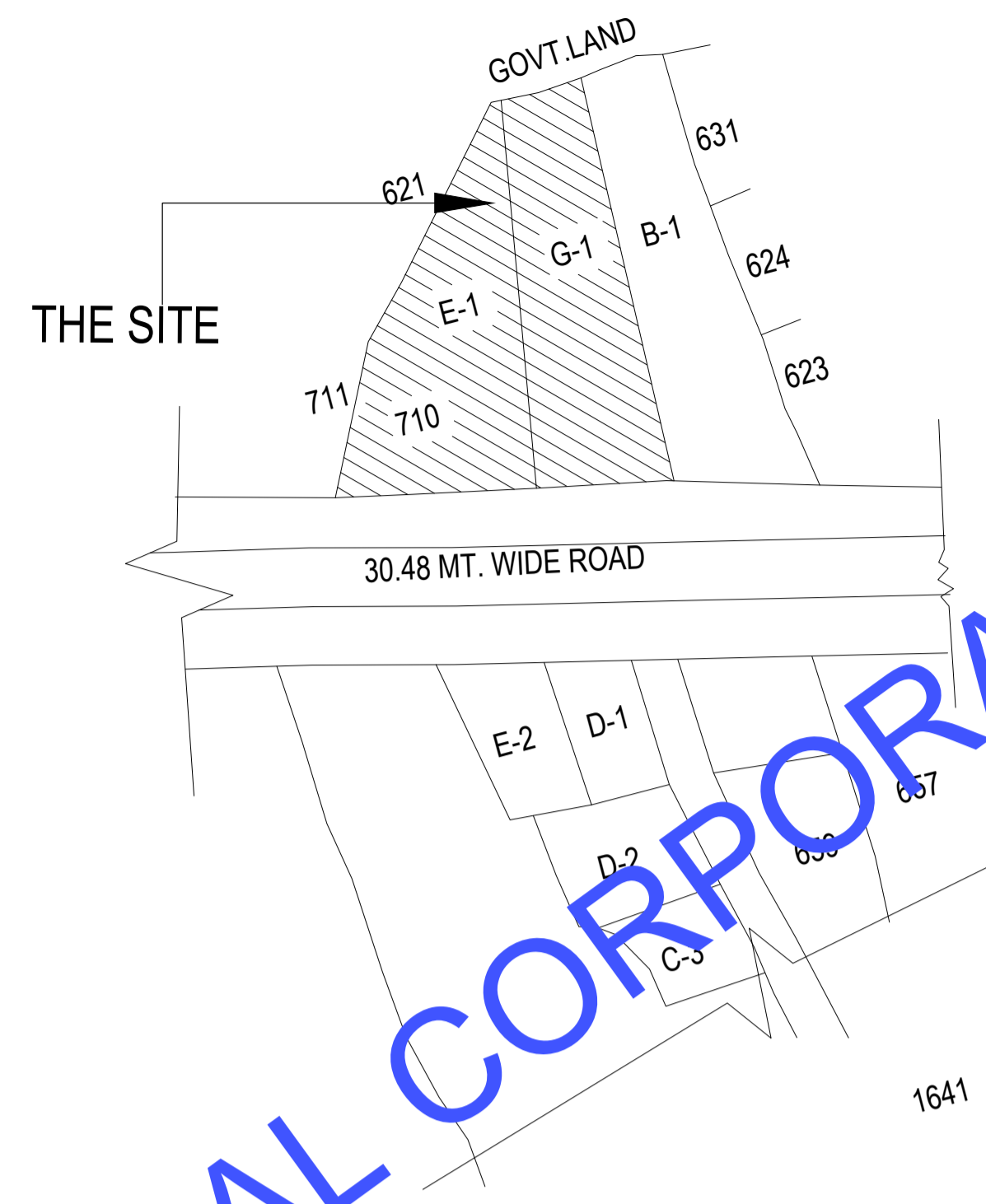
DETAIL OF HARVESTING PIT SECTION



PLINTH BEAM



TYPICAL FOOTING



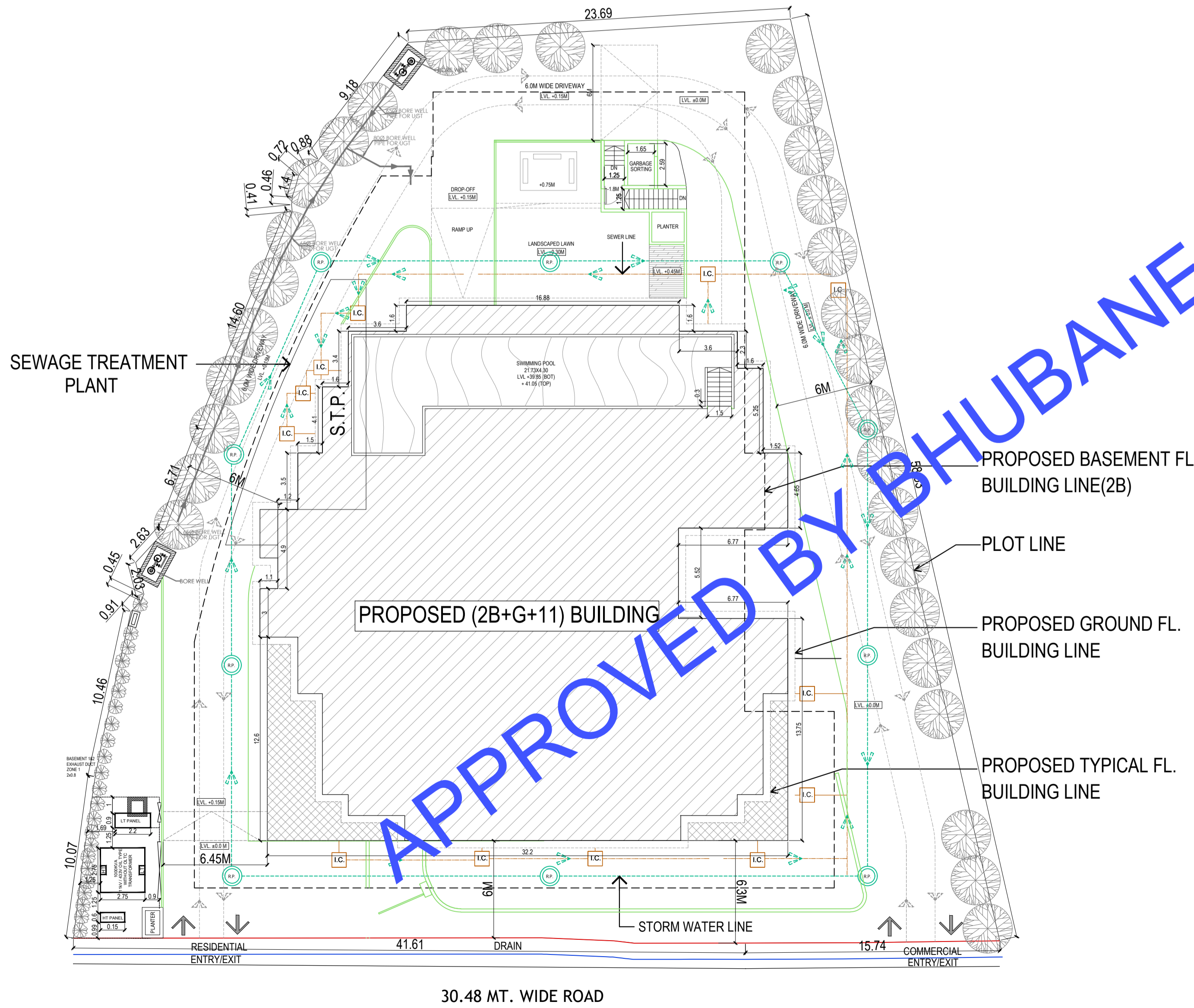
REVENUE SITE PLAN

OVER PLOT NO :- 622 , 710 , 622/2468 ,710/3435 ,  
622/2468/3436 , 710/4280 & 622/2468/4281  
KHATA NO :- 1057/2559 , 1057/1257 ,  
1057/1256 , 1057/2154 ,  
MOUZA :- GOBINDAPRASAD ,  
(BHUBANESWAR SAHARA UNIT NO -32)  
TAHASIL :- BHUBANESWAR ,  
DIST :- KHURDHA .  
SCALE 64" = 1 MILE

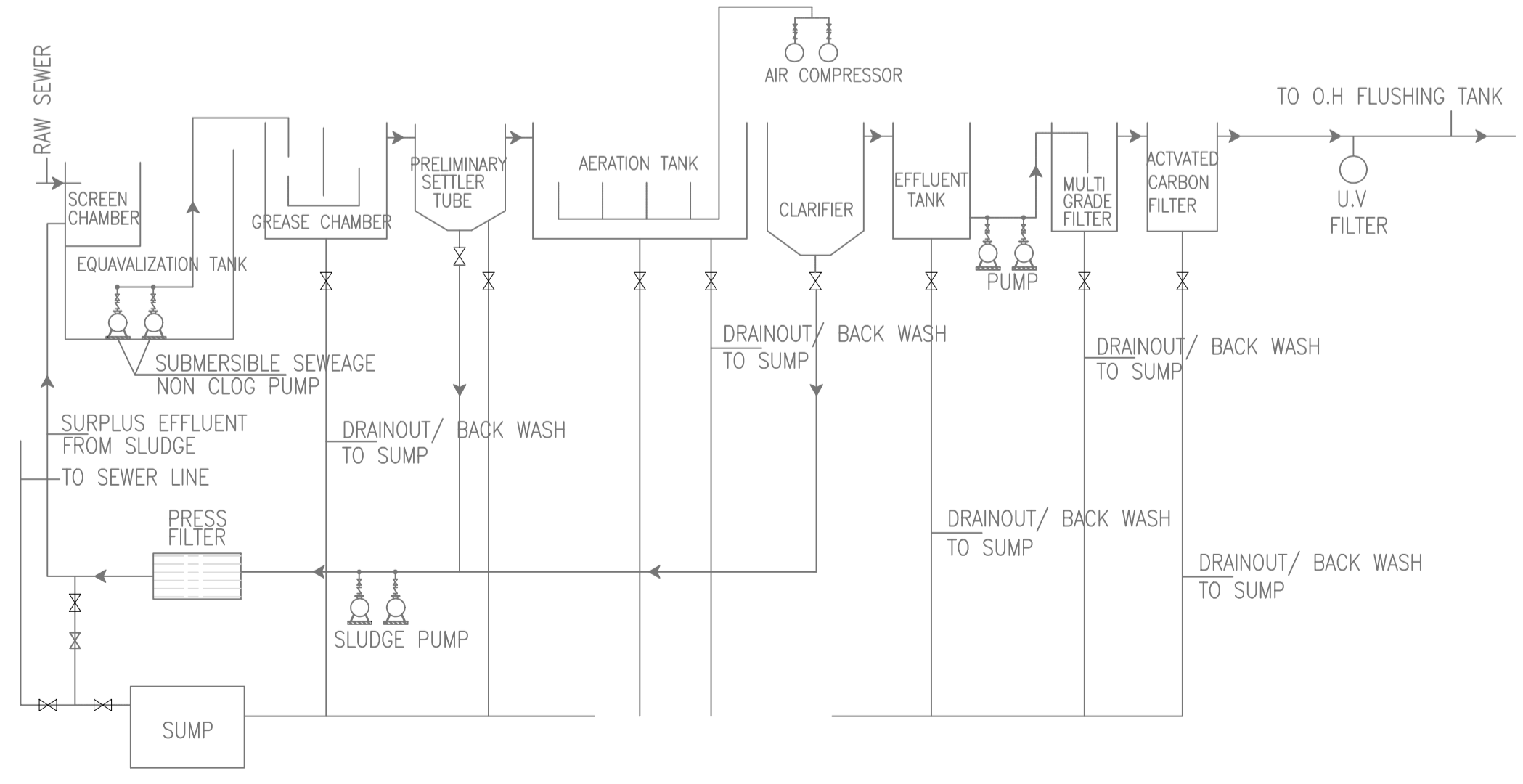
- GENERAL NOTES:
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  - ALL DIMENSIONS ARE IN M.
  - ALL EXTERNAL WALLS ARE 250 THK & INTERNAL WALLS ARE 125THK.
  - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH DETAILS LARGE SCALE DRAWINGS, STRUCTURAL, ELECTRICAL AND OTHER RELEVANT DRAWINGS.
  - DISCREPANCIES IF ANY SHOULD BE BROUGHT TO THE NOTICE OF THE ARCHITECT BEFORE THE EXECUTION OF WORK.
  - DETAIL DRAWINGS SHALL SUPERSEDE SMALLER SCALE DRAWINGS.
  - CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS BEFORE EXECUTION OF THE WORK.

SCHEDULE OF DOOR WINDOW & OPENING:

DOORS					
MARK	WIDTH	HEIGHT	LINTEL	REMARKS	
D1	1.1	2.4	2.45	FLUSH DOOR	
D2	0.9	2.1	2.15	FLUSH DOOR	
D3	0.75	2.1	2.15	FLUSH DOOR	
D3'	0.75	2.55	2.60	FLUSH DOOR	
D4	1.8	2.40	2.45	FLUSH DOOR	
D5	1.5	2.40	2.45	FLUSH DOOR	
D6	1.2	2.40	2.45	FLUSH DOOR	
D7	1.3	2.40	2.45	FLUSH DOOR	
D8	1	2.40	2.45	FLUSH DOOR	
GD1	1.8	2.40	2.45	GLASS DOOR	
GD2	1	2.10	2.45	GLASS DOOR	
FD1	1.1	2.10	2.15	FIRE CHECK DOOR	
SD1	1.75	2.60		SLIDING DOOR	
SD2	1.85	2.60		SLIDING DOOR	
SD3	2.10	2.60		SLIDING DOOR	
SD4	3.75	2.60		SLIDING DOOR	
SD5	2.40	2.60		SLIDING DOOR	
SD6	2.85	2.60		SLIDING DOOR	
SD7	1.30	2.60		SLIDING DOOR	
SD8	2.94	2.60		SLIDING DOOR	
SD9	3.20	2.60		SLIDING DOOR	
OPENINGS					
OP1	0.75	1.85	2.15		
OP2	1	1.85	2.15		
WINDOWS					
MARK	WIDTH	HEIGHT	SILL	LINTEL	REMARKS
W	2.10	2.30	0.30	2.60	
W1	2.40	2.30	0.30	2.60	
W2	1.20	2.30	0.30	2.60	
W2a	1.50	2.30	0.30	2.60	
W3	0.95	1.45	1.15	2.60	
W4	0.60	0.80	1.55	2.35	
W5	0.60	1.05	1.55	2.60	
W6	0.50	0.60	1.50	2.15	
W7	2.50	0.60	1.50	2.15	
W8	1.70	2.30	0.30	2.60	
W9	0.75	2.30	0.30	2.60	
W10	0.900	2.30	0.30	2.60	
FGL	AS/PLAN		0.30	3.30	
FGL1	1.70	2.30	0.30	2.60	



LAYOUT PLAN



PLAN OF S.T.P

PERMISSION GRANTED UNDER SEC.16(3) OF ODA ACT 1982 SUBJECT TO CONDITIONS CONTAINED IN LETTER NO. ANB/2651/2022 DATED : 15/01/2022 PERMISSION IS VALID TILL 14/01/2025

This Building Plan has been prepared in accordance to Odisha Development Act (P & B5) Rule 2020.

**KHUSHI REALCON PVT. LTD.**  
Signature Of GPA Holder  
MR. PRADEEP THACKER  
(M/S KHUSHI REALCON PVT.LTD)

**AR. DUSMANTA KUMAR SWAIN**  
Signature Of Architect.  
REGD NO- CA/2002/28795

Plot No & Owner Name

Plot No-622	Aditya Patra
Plot No-710	Surendranath Pattnaik
Plot No-622/2468	Surendranath Pattnaik
Plot No-710/3435	Sanjeeta Pattnaik
Plot No-622/2468/3436	Sanjeeta Pattnaik
Plot No-710/4280	Sanjeeta Pattnaik
Plot No-622/2468/4281	Sanjeeta Pattnaik

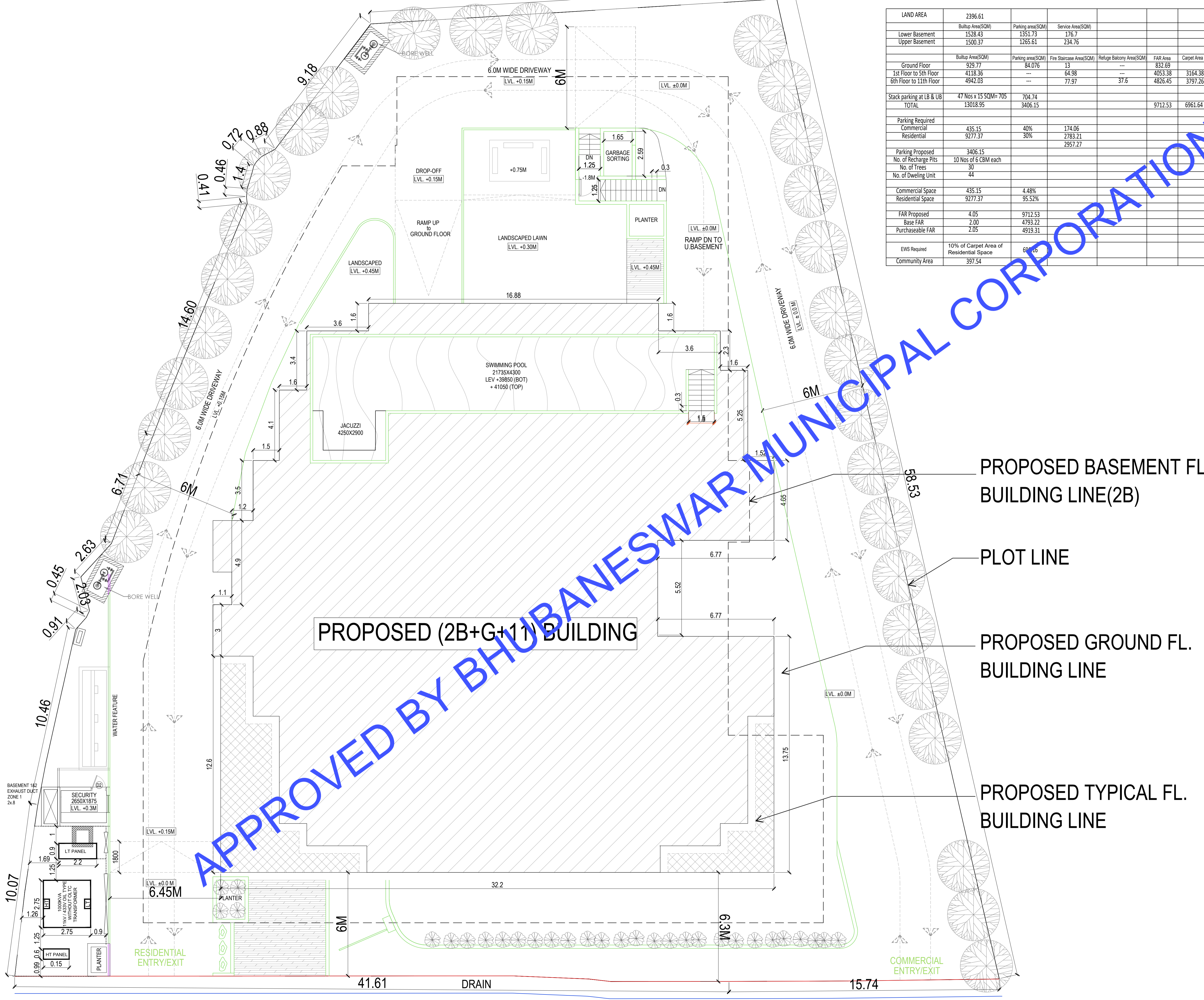
JOB TITLE:-  
PROPOSED COMMERCIAL CUM RESIDENTIAL APARTMENT (2B+G+11) FOR M/S KHUSHI REALCON PVT.LTD , OVER PLOT NO -622,710,622/2468,710/3435,622/2468/3436, 710/4280 & 622/2468/4281,KHATA NO -1057/2559,1057/1257, 1057/1256,1057/2154,MOUZA -GOBINDAPRASAD, (BHUBANESWAR SAHARA UNIT NO-32),TAHASIL - BHUBANESWAR , DIST - KHURDHA .

ARCHITECTURAL DRAWING  
**LAYOUT PLAN**

SCALE :	1:200	PAPER-A1
DATE :	30.11.2021.	
DRAWN BY :	SIBASANKAR	
CHECKED BY :	SS	
DWG. NO. :	BHUB-MUD-A-S-01	

APPROVED BY BHUBANESWAR MUNICIPAL CORPORATION





LAND AREA	2396.61					
Builtup Area(SQM)	1528.43	Parking area(SQM)	1351.73	Service Area(SQM)	176.7	
Lower Basement	1500.37		1265.61		234.76	
Upper Basement						
	Builtup Area(SQM)	Parking area(SQM)	Fire Staircase Area(SQM)	Refuge Balcony Area(SQM)	FAR Area	Carpet Area
Ground Floor	929.77	84.076	13	---	832.69	
1st Floor to 5th Floor	4118.36	---	64.98	---	4053.38	3164.38
6th Floor to 11th Floor	4942.03	---	77.97	37.6	4826.45	3797.26
Stack parking at LB & UB	47 Nos x 15 SQM= 705	704.74				
TOTAL	13018.95	3406.15			9712.53	6961.64
Parking Required						
Commercial	435.15	40%	174.06			
Residential	9277.37	30%	2783.21			
Parking Proposed	3406.15		2957.27			
No. of Recharge Pits	10 Nos of 6 CBM each					
No. of Trees	30					
No. of Dwelling Unit	44					
Commercial Space	435.15	4.48%				
Residential Space	9277.37	95.52%				
FAR Proposed	4.05	9712.53				
Base FAR	2.00	4793.22				
Purchaseable FAR	2.05	4919.31				
EWS Required	10% of Carpet Area of Residential Space	696.16				
Community Area	397.54					

- GENERAL NOTES:
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  - CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS BEFORE EXECUTION OF THE WORK.

SCHEDULE OF DOOR WINDOW & OPENING:

DOORS					
MARK	WIDTH	HEIGHT	LINTEL	REMARKS	
D1	1.1	2.4	2.45	FLUSH DOOR	
D2	0.9	2.1	2.15	FLUSH DOOR	
D3	0.75	2.1	2.15	FLUSH DOOR	
D3'	0.75	2.55	2.60	FLUSH DOOR	
D4	1.8	2.40	2.45	FLUSH DOOR	
D5	1.5	2.40	2.45	FLUSH DOOR	
D6	1.2	2.40	2.45	FLUSH DOOR	
D7	1.300	2.40	2.45	FLUSH DOOR	
D8	1	2.40	2.45	FLUSH DOOR	
GD1	1.8	2.40	2.45	GLASS DOOR	
GD2	1	2.10	2.45	GLASS DOOR	
FCD1	1.1	2.10	2.15	FIRE CHECK DOOR	
SD1	1.75	2.60		SLIDING DOOR	
SD2	1.85	2.60		SLIDING DOOR	
SD3	2.10	2.60		SLIDING DOOR	
SD4	3.75	2.60		SLIDING DOOR	
SD5	2.40	2.60		SLIDING DOOR	
SD6	2.85	2.60		SLIDING DOOR	
SD7	1.30	2.60		SLIDING DOOR	
SD8	2.94	2.60		SLIDING DOOR	
SD9	3.20	2.60		SLIDING DOOR	
OPENINGS					
OP1	0.75	1.85	2.15		
OP2	1	1.85	2.15		
WINDOWS					
MARK	WIDTH	HEIGHT	SILL	LINTEL	REMARKS
W	2.10	2.30	0.30	2.60	
W1	2.40	2.30	0.30	2.60	
W2	1.20	2.30	0.30	2.60	
W2a	1.50	2.30	0.30	2.60	
W3	0.95	1.45	1.15	2.60	
W4	0.60	0.80	1.55	2.35	
W5	0.60	1.05	1.55	2.60	
W6	0.50	0.60	1.50	2.15	
W7	2.50	0.60	1.50	2.15	
W8	1.70	2.30	0.30	2.60	
W9	0.75	2.30	0.30	2.60	
W10	0.900	2.30	0.30	2.60	
FGL	AS/PLAN	0.30	3.30		
FGL1	1.70	2.30	0.30	2.60	

APPROVED BY BHUBANESWAR MUNICIPAL CORPORATION

PROPOSED BASEMENT FL. BUILDING LINE(2B)

PLOT LINE

PROPOSED GROUND FL. BUILDING LINE

PROPOSED TYPICAL FL. BUILDING LINE

PROPOSED (2B+G+11) BUILDING

PERMISSION GRANTED UNDER SEC.16(3) OF ODA ACT 1982 SUBJECT TO CONDITIONS CONTAINED IN LETTER NO. ANB/2651/2022 DATED : 15/01/2022 PERMISSION IS VALID TILL 14/01/2025

This Building Plan has been prepared in accordance to Odisha Development Act (P & B5) Rule 2020.

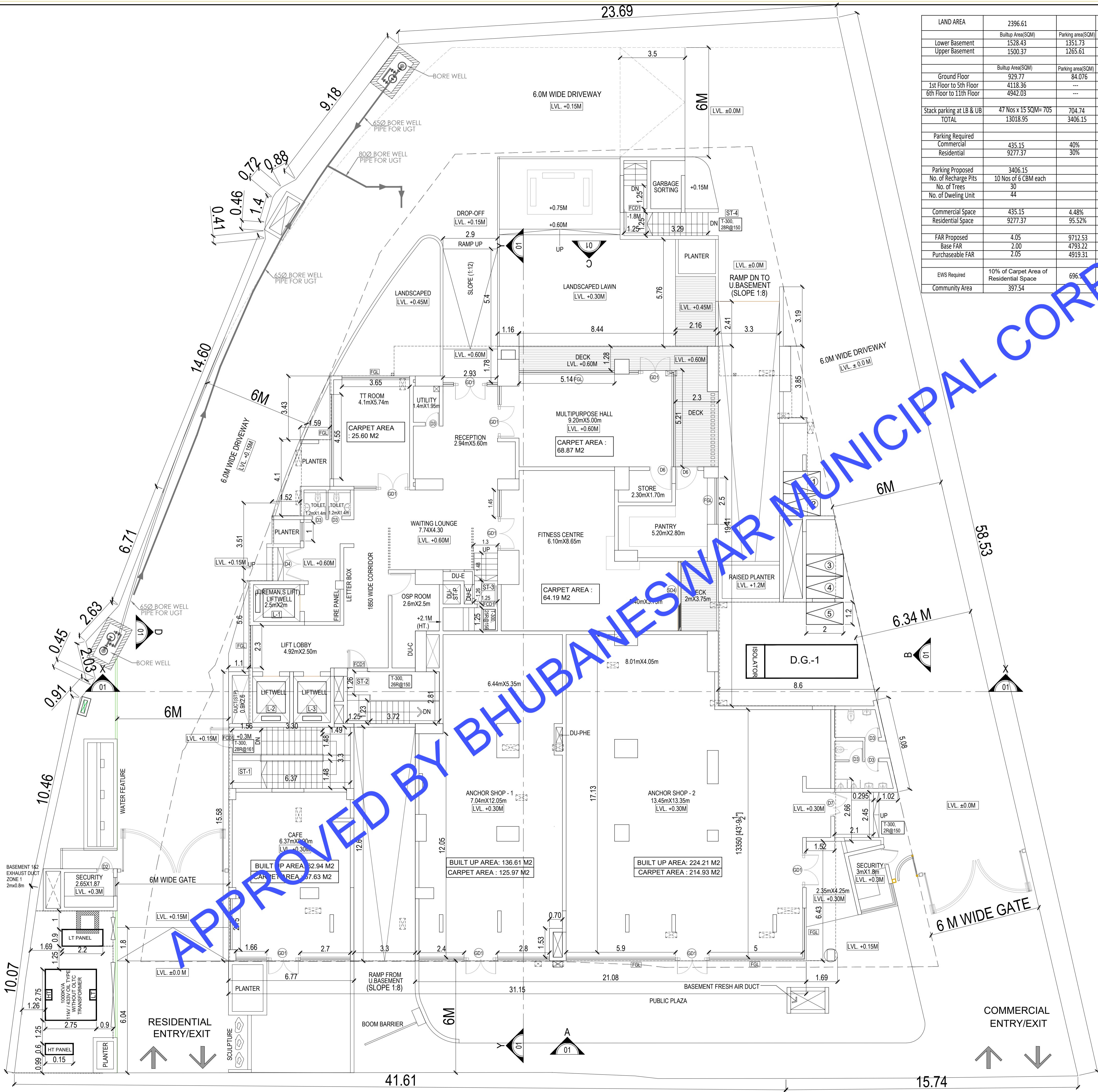
Signature of GPA Holder: MR. PRADEEP THACKER (M/S KHUSHI REALCON PVT.LTD)  
 Signature of Architect: AR. DUSMANTA KUMAR SWAIN (REGD NO:- CA/2002/28795)

Plot No & Owner Name  
 Plot No-622 Aditya Patra  
 Plot No-710 Surendranath Pattnaik  
 Plot No-622/2468 Surendranath Pattnaik  
 Plot No-710/3435 Sanjeeta Pattnaik  
 Plot No-622/2468/3436 Sanjeeta Pattnaik  
 Plot No-710/4280 Sanjeeta Pattnaik  
 Plot No-622/2468/4281 Sanjeeta Pattnaik

JOB TITLE:-  
 PROPOSED COMMERCIAL CUM RESIDENTIAL APARTMENT (2B+G+11) FOR M/S KHUSHI REALCON PVT.LTD , OVER PLOT NO -622,710,622/2468,710/3435,622/2468/3436, 710/4280 & 622/2468/4281, KHATA NO -1057/2559,1057/1257, 1057/1256,1057/2154,MOUZA -GOBINDAPRASAD, (BHUBANESWAR SAHARA UNIT NO-32),TAHASIL -BHUBANESWAR , DIST - KHURDHA .

ARCHITECTURAL DRAWING  
**LANDSCAPE PLAN**  
 SCALE : 1: 100 PAPER-A1  
 DATE : 30.11.2021.  
 DRAWN BY : SIBSANKAR  
 CHECKED BY : SS  
 DWG. NO : BHUB-MUD-A-S-02





LAND AREA	2396.61				
Lower Basement	1528.43	1351.73	176.7		
Upper Basement	1500.37	1265.61	234.76		
Ground Floor	929.77	84.076	13	832.69	
1st Floor to 5th Floor	4118.36	---	64.98	4053.38	3164.38
6th Floor to 11th Floor	4942.03	---	77.97	37.6	4826.45
3797.26					
Stack parking at LB & UB	47 Nos x 15 SQM= 705	704.74			
TOTAL	13018.95	3406.15		9712.53	6961.64
Parking Required					
Commercial	435.15	40%	174.06		
Residential	9277.37	30%	2783.21		
			2957.27		
Parking Proposed	3406.15				
No. of Recharge Pits	10 Nos of 6 CBM each				
No. of Trees	30				
No. of Dwelling Unit	44				
Commercial Space	435.15	4.48%			
Residential Space	9277.37	95.52%			
FAR Proposed	4.05	9712.53			
Base FAR	2.00	4793.22			
Purchaseable FAR	2.05	4919.31			
EWS Required	10% of Carpet Area of Residential Space	696.16			
Community Area	397.54				

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SCHEDULE OF DOOR WINDOW & OPENING:

DOORS					
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D1	1.1	2.4	2.45	FLUSH DOOR	
D2	0.9	2.1	2.15	FLUSH DOOR	
D3	0.75	2.1	2.15	FLUSH DOOR	
D3'	0.75	2.55	2.60	FLUSH DOOR	
D4	1.8	2.40	2.45	FLUSH DOOR	
D5	1.5	2.40	2.45	FLUSH DOOR	
D6	1.2	2.40	2.45	FLUSH DOOR	
D7	1.3	2.40	2.45	FLUSH DOOR	
D8	1	2.40	2.45	FLUSH DOOR	
GD1	1.8	2.40	2.45	GLASS DOOR	
GD2	1	2.10	2.45	GLASS DOOR	
FCD1	1.1	2.10	2.15	FIRE CHECK DOOR	
SD1	1.75	2.60		SLIDING DOOR	
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SD8	2.94	2.60		SLIDING DOOR	
SD9	3.20	2.60		SLIDING DOOR	
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OP2	1	1.85	2.15		
WINDOWS					
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W	2.10	2.30	0.30	2.60	
W1	2.40	2.30	0.30	2.60	
W2	1.20	2.30	0.30	2.60	
W2a	1.50	2.30	0.30	2.60	
W3	0.95	1.45	1.15	2.60	
W4	0.60	0.80	1.55	2.35	
W5	0.60	1.05	1.55	2.60	
W6	0.50	0.60	1.50	2.15	
W7	2.50	0.60	1.50	2.15	
W8	1.70	2.30	0.30	2.60	
W9	0.75	2.30	0.30	2.60	
W10	0.900	2.30	0.30	2.60	
FGL	AS/PLAN		0.30	3.30	
FGL1	1.70	2.30	0.30	2.60	

PERMISSION GRANTED UNDER SEC.16(3) OF ODA ACT 1982 SUBJECT TO CONDITIONS CONTAINED IN LETTER NO. ANB/2651/2022 DATED : 15/01/2022 PERMISSION IS VALID TILL 14/01/2025

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 Signature Of GPA Holder: MR. PRADEEP THACKER (M/S KHUSHI REALCON PVT.LTD)  
 Signature Of Architect: AR. DUSMANTA KUMAR SWAIN (REGD NO.- CA/2002/28795)

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 Plot No-622/2468 Surendranath Pattnaik  
 Plot No-710/3435 Sanjeeta Pattnaik  
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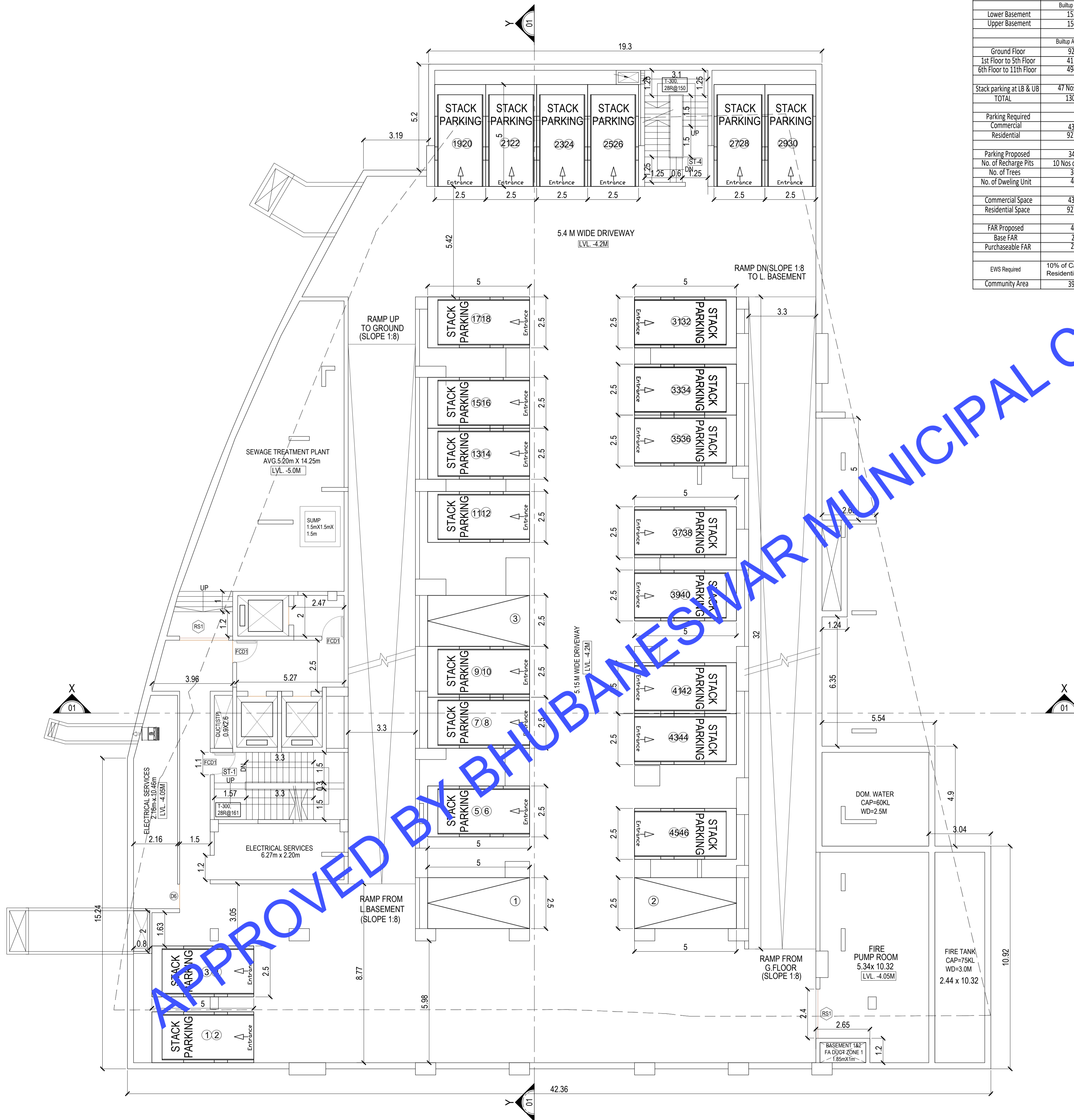
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ARCHITECTURAL DRAWING  
**GROUND FLOOR PLAN**  
 SCALE : 1: 100 PAPER-A1  
 DATE : 30.11.2021.  
 DRAWN BY : SIBSANKAR  
 CHECKED BY : SS  
 DWG. NO : BHUB-MUD-A-S-03

APPROVED BY BHUBANESWAR MUNICIPAL CORPORATION

SANCTION DRAWINGS





LAND AREA	2396.61					
	Builtup Area(SQM)	Parking area(SQM)	Service Area(SQM)			
Lower Basement	1528.43	1351.73	176.7			
Upper Basement	1500.37	1265.61	234.76			
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	13018.95	3406.15			9712.53	6961.64
Parking Required						
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Residential	9277.37	30%	2783.21			
Parking Proposed	3406.15		2957.27			
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Residential Space	9277.37	95.52%				
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Purchaseable FAR	2.05	4919.31				
EWS Required	10% of Carpet Area of Residential Space	696.16				
Community Area	397.54					

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DOORS					
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D1	1.1	2.4	2.45	FLUSH DOOR	
D2	0.9	2.1	2.15	FLUSH DOOR	
D3	0.75	2.1	2.15	FLUSH DOOR	
D4	1.8	2.55	2.60	FLUSH DOOR	
D5	1.5	2.40	2.45	FLUSH DOOR	
D6	1.2	2.40	2.45	FLUSH DOOR	
D7	1.300	2.40	2.45	FLUSH DOOR	
D8	1	2.40	2.45	FLUSH DOOR	
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GD2	1	2.10	2.45	GLASS DOOR	
FCD1	1.1	2.10	2.15	FIRE CHECK DOOR	
SD1	1.75	2.60		SLIDING DOOR	
SD2	1.85	2.60		SLIDING DOOR	
SD3	2.10	2.60		SLIDING DOOR	
SD4	3.75	2.60		SLIDING DOOR	
SD5	2.40	2.60		SLIDING DOOR	
SD6	2.85	2.60		SLIDING DOOR	
SD7	1.30	2.60		SLIDING DOOR	
SD8	2.94	2.60		SLIDING DOOR	
SD9	3.20	2.60		SLIDING DOOR	
OPENINGS					
OP1	0.75	1.85	2.15		
OP2	1	1.85	2.15		
WINDOWS					
MARK	WIDTH	HEIGHT	SILL	LINTEL	REMARKS
W	2.10	2.30	0.30	2.60	
W1	2.40	2.30	0.30	2.60	
W2	1.20	2.30	0.30	2.60	
W2a	1.50	2.30	0.30	2.60	
W3	0.95	1.45	1.15	2.60	
W4	0.60	0.80	1.55	2.35	
W5	0.60	1.05	1.55	2.60	
W6	0.50	0.60	1.50	2.15	
W7	2.50	0.60	1.50	2.15	
W8	1.70	2.30	0.30	2.60	
W9	0.75	2.30	0.30	2.60	
W10	0.90	2.30	0.30	2.60	
FGL	AS/PLAN		0.30	3.30	
FGL1	1.70	2.30	0.30	2.60	

PERMISSION GRANTED UNDER SEC.16(3) OF ODA ACT 1982 SUBJECT TO CONDITIONS CONTAINED IN LETTER NO. ANB/2651/2022 DATED : 15/01/2022 PERMISSION IS VALID TILL 14/01/2025

This Building Plan has been prepared in accordance to Odisha Development Act (P & BS) Rule 2020.

Signature Of GPA Holder: MR. PRADEEP THACKER (M/S KHUSHI REALCON PVT.LTD)  
 Signature Of Architect: AR. DUSMANTA KUMAR SWAIN. (REGD NO.- CA/2002/28795)

Plot No & Owner Name:  
 Plot No-622 Aditya Patra  
 Plot No-710 Surendranath Pattnaik  
 Plot No-622/2468 Surendranath Pattnaik  
 Plot No-710/3435 Sanjeeta Pattnaik  
 Plot No-622/2468/3436 Sanjeeta Pattnaik  
 Plot No-710/4280 Sanjeeta Pattnaik  
 Plot No-622/2468/4281 Sanjeeta Pattnaik

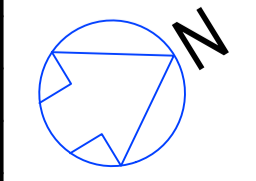
JOB TITLE:-  
 PROPOSED COMMERCIAL CUM RESIDENTIAL APARTMENT (2B+G+11) FOR M/S KHUSHI REALCON PVT.LTD, OVER PLOT NO -622,710,622/2468,710/3435,622/2468/3436, 710/4280 & 622/2468/4281,KHATA NO -1057/2559,1057/1257, 1057/1256,1057/2154,MOUZA -GOBINDAPRASAD, (BHUBANESWAR SAHARA UNIT NO-32),TAHASIL - BHUBANESWAR, DIST - KHRDHA.

ARCHITECTURAL DRAWING  
**UPPER BASEMENT PLAN**

SCALE : 1: 100 PAPER-A1  
 DATE : 30.11.2021.  
 DRAWN BY : SIBASANKAR  
 CHECKED BY : SS  
 DWG. NO. : BHUB-MUD-A-S-04

APPROVED BY BHUBANESWAR MUNICIPAL CORPORATION

SANCTION DRAWINGS





LAND AREA	2396.61					
	Builtup Area(SQM)	Parking area(SQM)	Service Area(SQM)			
Lower Basement	1528.43	1351.73	176.7			
Upper Basement	1500.37	1265.61	234.76			
	Builtup Area(SQM)	Parking area(SQM)	Fire Staircase Area(SQM)	Refuge Balcony Area(SQM)	FAR Area	Carpet Area
Ground Floor	929.77	84.076	13	---	832.69	
1st Floor to 5th Floor	4118.36	---	64.98	---	4053.38	3164.38
6th Floor to 11th Floor	4942.03	---	77.97	37.6	4826.45	3797.26
Stack parking at LB & UB TOTAL	47 Nos x 15 SQM= 705	704.74				
	13018.95	3406.15			9712.53	6961.64
Parking Required						
Commercial	435.15	40%	174.06			
Residential	9277.37	30%	2783.21			
			2957.27			
Parking Proposed	3406.15					
No. of Recharge Pits	10 Nos of 6 CBM each					
No. of Trees	30					
No. of Dwelling Unit	44					
Commercial Space	435.15	4.48%				
Residential Space	9277.37	95.52%				
FAR Proposed	4.05		9712.53			
Base FAR	2.00		4793.22			
Purchaseable FAR	2.05		4919.31			
EWS Required	10% of Carpet Area of Residential Space		696.16			
Community Area	397.54					

- GENERAL NOTES:
- ALL DIMENSIONS ARE UNFINISHED DIMENSIONS UNLESS OTHERWISE SPECIFIED.
  - ALL DIMENSIONS ARE IN M.
  - ALL EXTERNAL WALLS ARE 250 THK & INTERNAL WALLS ARE 125THK
  - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH DETAILS, LARGE SCALE DRAWINGS, STRUCTURAL, ELECTRICAL, AND OTHER RELEVANT DRAWINGS.
  - DISCREPANCIES IF ANY SHOULD BE BROUGHT TO THE NOTICE OF THE ARCHITECT BEFORE THE EXECUTION OF WORK.
  - DETAIL DRAWINGS SHALL SUPERSEDE SMALLER SCALE DRAWINGS.
  - CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS BEFORE EXECUTION OF THE WORK.

SCHEDULE OF DOOR WINDOW & OPENING:

DOORS					
MARK	WIDTH	HEIGHT	LINTEL	REMARKS	
D1	1.1	2.4	2.45	FLUSH DOOR	
D2	0.9	2.1	2.15	FLUSH DOOR	
D3	0.75	2.1	2.15	FLUSH DOOR	
D3'	0.75	2.55	2.60	FLUSH DOOR	
D4	1.8	2.40	2.45	FLUSH DOOR	
D5	1.5	2.40	2.45	FLUSH DOOR	
D6	1.2	2.40	2.45	FLUSH DOOR	
D7	1.3	2.40	2.45	FLUSH DOOR	
D8	1	2.40	2.45	FLUSH DOOR	
GD1	1.8	2.40	2.45	GLASS DOOR	
GD2	1	2.10	2.45	GLASS DOOR	
FCD1	1.1	2.10	2.15	FIRE CHECK DOOR	
SD1	1.75	2.60		SLIDING DOOR	
SD2	1.85	2.60		SLIDING DOOR	
SD3	2.10	2.60		SLIDING DOOR	
SD4	3.75	2.60		SLIDING DOOR	BEAM BOTTOM
SD5	2.40	2.60		SLIDING DOOR	
SD6	2.85	2.60		SLIDING DOOR	
SD7	1.30	2.60		SLIDING DOOR	
SD8	2.94	2.60		SLIDING DOOR	
SD9	3.20	2.60		SLIDING DOOR	
OPENINGS					
OP1	0.75	1.85	2.15		
OP2	1	1.85	2.15		
WINDOWS					
MARK	WIDTH	HEIGHT	SILL	LINTEL	REMARKS
W	2.10	2.30	0.30	2.60	
W1	2.40	2.30	0.30	2.60	
W2	1.20	2.30	0.30	2.60	
W2a	1.50	2.30	0.30	2.60	
W3	0.95	1.45	1.15	2.60	
W4	0.60	0.80	1.55	2.35	
W5	0.60	1.05	1.55	2.60	
W6	0.50	0.60	1.50	2.15	
W7	2.50	0.60	1.50	2.15	
W8	1.70	2.30	0.30	2.60	
W9	0.75	2.30	0.30	2.60	
W10	0.900	2.30	0.30	2.60	
FGL	AS/PLAN		0.30	3.30	
FGL1	1.70	2.30	0.30	2.60	

PERMISSION GRANTED UNDER SEC.16(3) OF ODA ACT 1982 SUBJECT TO CONDITIONS CONTAINED IN LETTER NO. ANB/2651/2022 DATED : 15/01/2022 PERMISSION IS VALID TILL 14/01/2025

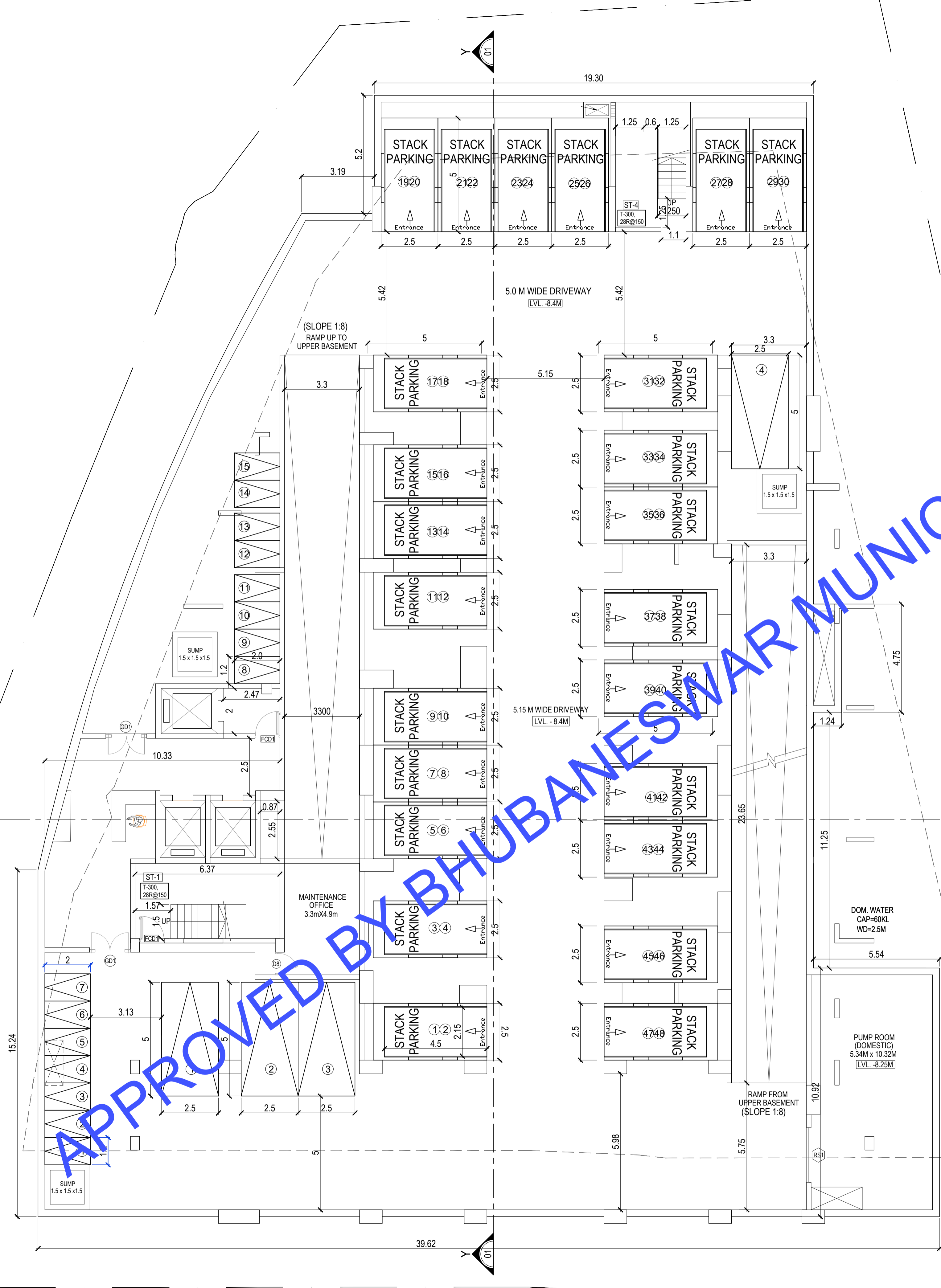
This Building Plan has been prepared in accordance to Odisha Development Act (P & B) Rule 2020.

Signature Of GPA Holder: MR. PRADEEP THACKER (MIS KHUSHI REALCON PVT.LTD)  
 Signature Of Architect: AR. DUSMANTA KUMAR SWAIN. (REGD NO:- CA2002/28795)

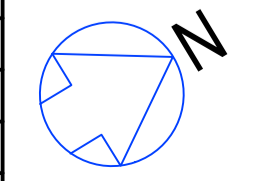
Plot No & Owner Name:  
 Plot No-622 Aditya Patra  
 Plot No-710 Surendranath Pattnaik  
 Plot No-622/2468 Surendranath Pattnaik  
 Plot No-710/3435 Sanjeeta Pattnaik  
 Plot No-622/2468/3436 Sanjeeta Pattnaik  
 Plot No-710/4280 Sanjeeta Pattnaik  
 Plot No-622/2468/4281 Sanjeeta Pattnaik

JOB TITLE:-  
 PROPOSED COMMERCIAL CUM RESIDENTIAL APARTMENT (2B+G+11) FOR M/S KHUSHI REALCON PVT.LTD , OVER PLOT NO -622, 710, 622/2468, 710/3435, 622/2468/3436, 710/4280 & 622/2468/4281, KHATA NO -1057/2559, 1057/1257, 1057/1256, 1057/2154, MOUZA -GOBINDAPRASAD, (BHUBANESWAR SAHARA UNIT NO-32), TAHASIL - BHUBANESWAR , DIST - KHURDHA .

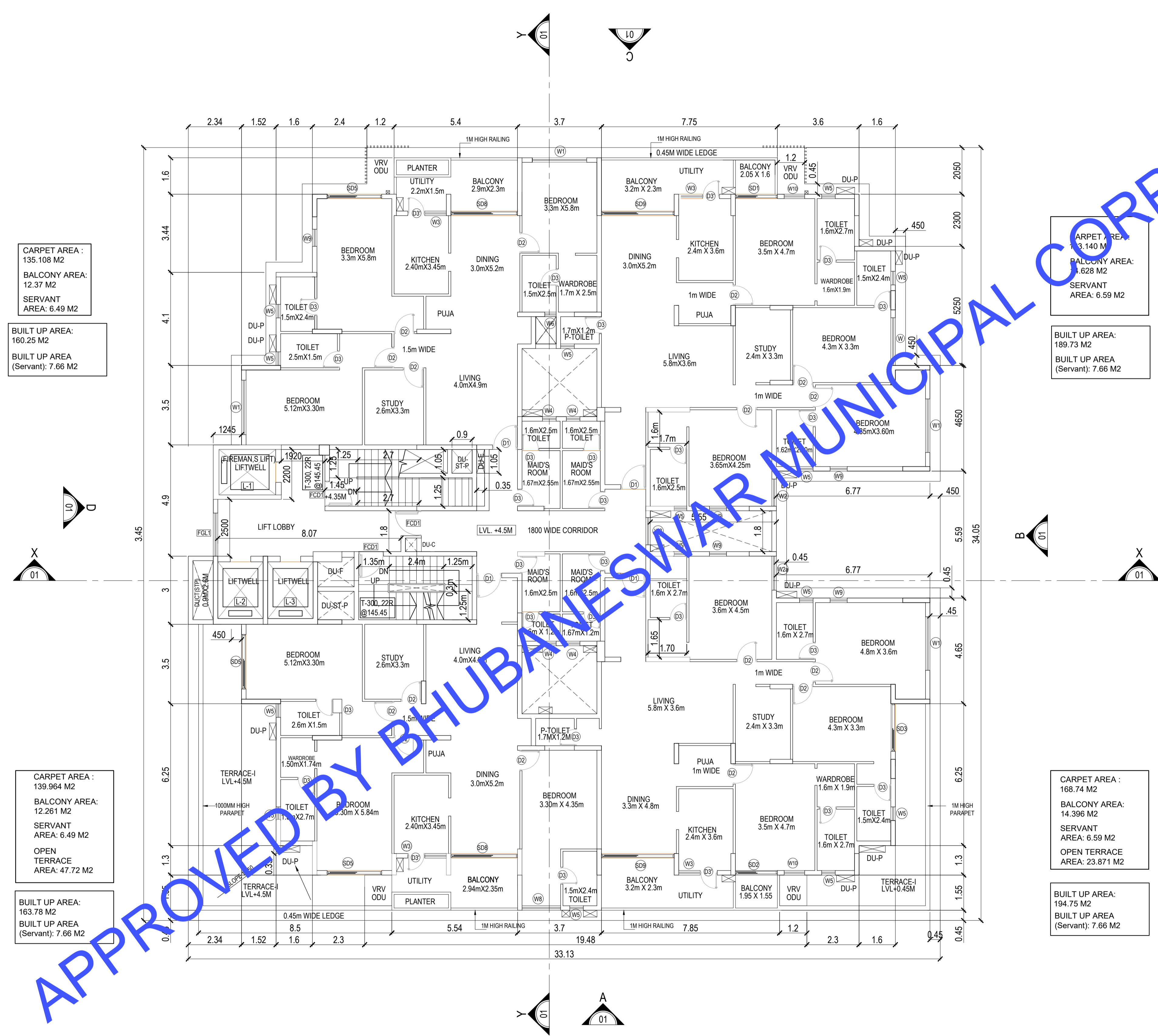
ARCHITECTURAL DRAWING  
**LOWER BASEMENT PLAN**  
 SCALE : 1: 100 PAPER-A1  
 DATE : 30.11.2021.  
 DRAWN BY : SIBSANKAR  
 CHECKED BY : SS  
 DWG. NO : BHUB-MUD-A-S-05



SANCTION DRAWINGS







CARPET AREA : 135.108 M2  
 BALCONY AREA: 12.37 M2  
 SERVANT AREA: 6.49 M2

BUILT UP AREA: 160.25 M2  
 BUILT UP AREA (Servant): 7.66 M2

CARPET AREA : 139.964 M2  
 BALCONY AREA: 12.261 M2  
 SERVANT AREA: 6.49 M2  
 OPEN TERRACE AREA: 47.72 M2

BUILT UP AREA: 163.78 M2  
 BUILT UP AREA (Servant): 7.66 M2

CARPET AREA : 131.40 M2  
 BALCONY AREA: 1.628 M2  
 SERVANT AREA: 6.59 M2

BUILT UP AREA: 189.73 M2  
 BUILT UP AREA (Servant): 7.66 M2

CARPET AREA : 168.74 M2  
 BALCONY AREA: 14.396 M2  
 SERVANT AREA: 6.59 M2  
 OPEN TERRACE AREA: 23.871 M2

BUILT UP AREA: 194.75 M2  
 BUILT UP AREA (Servant): 7.66 M2

APPROVED BY BHUBANESWAR MUNICIPAL CORPORATION

- GENERAL NOTES:**
- ALL DIMENSIONS ARE UNFINISHED DIMENSIONS UNLESS OTHERWISE SPECIFIED.
  - ALL DIMENSIONS ARE IN M.
  - ALL EXTERNAL WALLS ARE 250 THK & INTERNAL WALLS ARE 125THK
  - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH DETAILS LARGE SCALE DRAWINGS, STRUCTURAL, ELECTRICAL, AND OTHER RELEVANT DRAWINGS.
  - DISCREPANCIES IF ANY SHOULD BE BROUGHT TO THE NOTICE OF THE ARCHITECT BEFORE THE EXECUTION OF WORK.
  - DETAIL DRAWINGS SHALL SUPERSEDE SMALLER SCALE DRAWINGS.
  - CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS BEFORE EXECUTION OF THE WORK.

**SCHEDULE OF DOOR WINDOW & OPENING:**

DOORS					
MARK	WIDTH	HEIGHT	LINTEL	REMARKS	
D1	1.1	2.4	2.45	FLUSH DOOR	
D2	0.9	2.1	2.15	FLUSH DOOR	
D3	0.75	2.1	2.15	FLUSH DOOR	
D4	1.8	2.40	2.45	FLUSH DOOR	
D5	1.5	2.40	2.45	FLUSH DOOR	
D6	1.2	2.40	2.45	FLUSH DOOR	
D7	1.3	2.40	2.45	FLUSH DOOR	
D8	1	2.40	2.45	FLUSH DOOR	
GD1	1.8	2.40	2.45	GLASS DOOR	
GD2	1.1	2.10	2.45	GLASS DOOR	
FCD1	1.1	2.10	2.15	FIRE CHECK DOOR	
SD1	1.75	2.80		SLIDING DOOR	
SD2	1.85	2.60		SLIDING DOOR	
SD3	2.10	2.60		SLIDING DOOR	
SD4	3.75	2.60		SLIDING DOOR	
SD5	2.40	2.60		SLIDING DOOR	
SD6	2.85	2.60		SLIDING DOOR	
SD7	1.30	2.60		SLIDING DOOR	
SD8	2.94	2.60		SLIDING DOOR	
SD9	3.20	2.60		SLIDING DOOR	
OPENINGS					
OP1	0.75	1.85	2.15		
OP2	1	1.85	2.15		
WINDOWS					
MARK	WIDTH	HEIGHT	SILL	LINTEL	REMARKS
W	2.10	2.30	0.30	2.60	
W1	2.40	2.30	0.30	2.60	
W2	1.20	2.30	0.30	2.60	
W2a	1.50	2.30	0.30	2.60	
W3	0.95	1.45	1.15	2.60	
W4	0.60	0.80	1.55	2.35	
W5	0.60	1.05	1.55	2.60	
W6	0.50	0.60	1.50	2.15	
W7	2.50	0.60	1.50	2.15	
W8	1.70	2.30	0.30	2.60	
W9	0.75	2.30	0.30	2.60	
W10	0.900	2.30	0.30	2.60	
FGL	AS/PLAN	-	0.30	3.30	
FGL1	1.70	2.30	0.30	2.60	

PERMISSION GRANTED UNDER SEC.16(3) OF ODA ACT 1982 SUBJECT TO CONDITIONS CONTAINED IN LETTER NO. ANB/2651/2022 DATED : 15/01/2022 PERMISSION IS VALID TILL 14/01/2025

This Building Plan has been prepared in accordance to Odisha Development Act (P & B5) Rule 2020.

Signature of GPA Holder: MR. PRADEEP THACKER (M/S KHUSHI REALCON PVT.LTD)  
 Signature of Architect: AR. DUSMANTA KUMAR SWAIN. (REGD NO:- CA/2002/28795)

- Plot No & Owner Name
- Plot No-622 Aditya Patra
  - Plot No-710 Surendranath Pattnaik
  - Plot No-622/2468 Surendranath Pattnaik
  - Plot No-710/3435 Sanjeeta Pattnaik
  - Plot No-622/2468/3436 Sanjeeta Pattnaik
  - Plot No-710/4280 Sanjeeta Pattnaik
  - Plot No-622/2468/4281 Sanjeeta Pattnaik

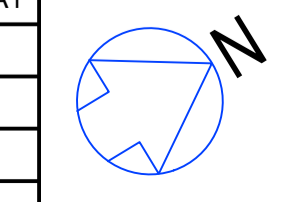
**JOB TITLE:-**  
 PROPOSED COMMERCIAL CUM RESIDENTIAL APARTMENT (2B+G+11) FOR M/S KHUSHI REALCON PVT.LTD , OVER PLOT NO -622,710,622/2468,710/3435,622/2468/3436, 710/4280 & 622/2468/4281,KHATA NO -1057/2559,1057/1257, 1057/1256,1057/2154,MOUZA -GOBINDAPRASAD, (BHUBANESWAR SAHARA UNIT NO-32),TAHASIL -BHUBANESWAR , DIST - KHURDHA .

ARCHITECTURAL DRAWING

**FIRST FLOOR PLAN**

SCALE : 1: 100 PAPER-A1  
 DATE : 30.11.2021.  
 DRAWN BY : SIBASANKAR  
 CHECKED BY : SS  
 DWG. NO : BHUB-MUD-A-S-06

SANCTION DRAWINGS





LAND AREA	2396.61					
	Builtup Area(SQM)	Parking Area(SQM)	Service Area(SQM)			
Lower Basement	1528.43	1351.73	176.7			
Upper Basement	1500.37	1265.61	234.76			
	Builtup Area(SQM)	Parking Area(SQM)	Fire Staircase Area(SQM)	Refuge Balcony Area(SQM)	FAR Area	Carpet Area
Ground Floor	929.77	84.076	13	---	832.69	
1st Floor to 5th Floor	4118.36	---	64.98	---	4053.38	3164.38
6th Floor to 11th Floor	4942.03	---	77.97	37.6	4826.45	3797.26
Stack parking at LB & UB	47 Nos x 15 SQM= 705	704.74				
TOTAL	13018.95	3406.15			9712.53	6961.64
Parking Required						
Commercial	435.15	40%	174.06			
Residential	9277.37	30%	2783.21			
			2957.27			
Parking Proposed	3406.15					
No. of Recharge Pits	10 Nos of 6 CBM each					
No. of Trees	30					
No. of Dwelling Unit	44					
Commercial Space	435.15	4.48%				
Residential Space	9277.37	95.52%				
FAR Proposed	4.05		9712.53			
Base FAR	2.00		4793.22			
Purchaseable FAR	2.05		4919.31			
EWS Required	10% of Carpet Area of Residential Space		696.16			
Community Area	397.54					

- GENERAL NOTES:
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  - DISCREPANCIES IF ANY SHOULD BE BROUGHT TO THE NOTICE OF THE ARCHITECT BEFORE THE EXECUTION OF WORK.
  - DETAIL DRAWINGS SHALL SUPERSEDE SMALLER SCALE DRAWINGS.
  - CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS BEFORE EXECUTION OF THE WORK.

SCHEDULE OF DOOR WINDOW & OPENING:

DOORS					
MARK	WIDTH	HEIGHT	LINTEL	REMARKS	
D1	1.1	2.4	2.45	FLUSH DOOR	
D2	0.9	2.1	2.15	FLUSH DOOR	
D3	0.75	2.1	2.15	FLUSH DOOR	
D3*	0.75	2.55	2.60	FLUSH DOOR	
D4	1.8	2.40	2.45	FLUSH DOOR	
D5	1.5	2.40	2.45	FLUSH DOOR	
D6	1.2	2.40	2.45	FLUSH DOOR	
D7	1.3	2.40	2.45	FLUSH DOOR	
D8	1	2.40	2.45	FLUSH DOOR	
GD1	1.8	2.40	2.45	GLASS DOOR	
GD2	1	2.10	2.45	GLASS DOOR	
FCD1	1.1	2.10	2.15	FIRE CHECK DOOR	
SD1	1.75	2.60		SLIDING DOOR	
SD2	1.85	2.60		SLIDING DOOR	
SD3	2.10	2.60		SLIDING DOOR	
SD4	3.75	2.60		SLIDING DOOR	BEAM BOTTOM
SD5	2.40	2.60		SLIDING DOOR	
SD6	2.85	2.60		SLIDING DOOR	
SD7	1.30	2.60		SLIDING DOOR	
SD8	2.94	2.60		SLIDING DOOR	
SD9	3.20	2.60		SLIDING DOOR	

OPENINGS					
MARK	WIDTH	HEIGHT	SILL	LINTEL	REMARKS
OP1	0.75	1.85		2.15	
OP2	1	1.85		2.15	

WINDOWS					
MARK	WIDTH	HEIGHT	SILL	LINTEL	REMARKS
W	2.10	2.30	0.30	2.60	
W1	2.40	2.30	0.30	2.60	
W2	1.20	2.30	0.30	2.60	
W2a	1.50	2.30	0.30	2.60	
W3	0.95	1.45	1.15	2.60	
W4	0.60	0.80	1.55	2.35	
W5	0.60	1.05	1.55	2.60	
W6	0.50	0.60	1.50	2.15	
W7	2.50	0.60	1.50	2.15	
W8	1.70	2.30	0.30	2.60	
W9	0.75	2.30	0.30	2.60	
W10	0.9	2.30	0.30	2.60	
FGL	AS/PLAN		0.30	3.30	
FGL1	1.70	2.30	0.30	2.60	

PERMISSION GRANTED UNDER SEC.16(3) OF ODA ACT 1982 SUBJECT TO CONDITIONS CONTAINED IN LETTER NO. ANB/2651/2022 DATED : 15/01/2022 PERMISSION IS VALID TILL 14/01/2025

This Building Plan has been prepared in accordance to Odisha Development Act (P & B5) Rule 2020.

Signature of GPA Holder: MR. PRADEEP THACKER (M/S KHUSHI REALCON PVT.LTD)  
 Signature of Architect: AR. DUSMANTA KUMAR SWAIN (REGD NO.- CA/2002/28795)

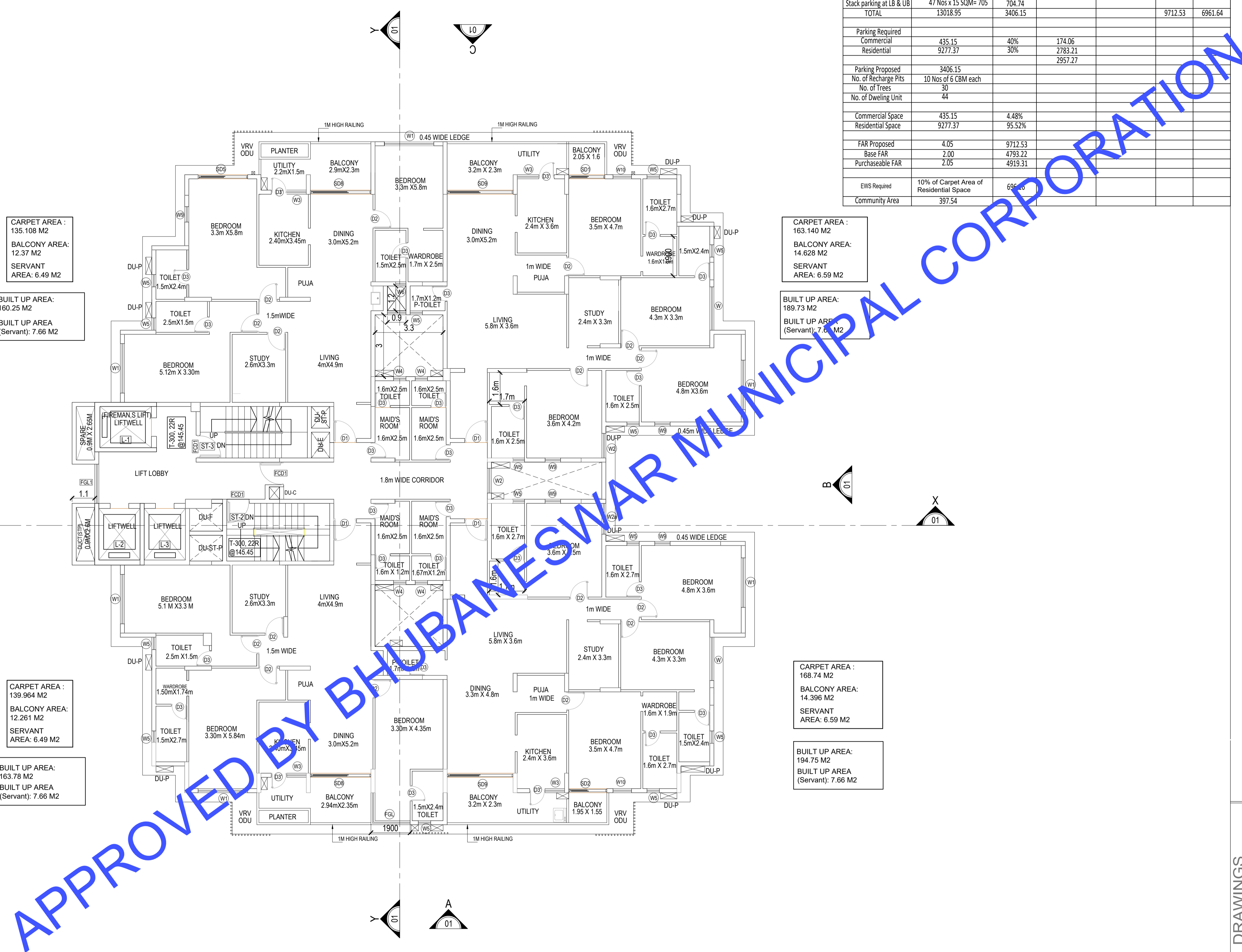
Plot No & Owner Name:  
 Plot No-622 Aditya Patra  
 Plot No-710 Surendranath Pattnaik  
 Plot No-622/2468 Surendranath Pattnaik  
 Plot No-710/3435 Sanjeeta Pattnaik  
 Plot No-622/2468/3436 Sanjeeta Pattnaik  
 Plot No-710/4280 Sanjeeta Pattnaik  
 Plot No-622/2468/4281 Sanjeeta Pattnaik

JOB TITLE:-  
 PROPOSED COMMERCIAL CUM RESIDENTIAL APARTMENT (2B-G+11) FOR M/S KHUSHI REALCON PVT.LTD , OVER PLOT NO -622,710,622/2468,710/3435,622/2468/3436, 710/4280 & 622/2468/4281, KHATA NO -1057/2559,1057/1257, 1057/1256,1057/2154,MOUZA -GOBINDAPRASAD, (BHUBANESWAR SAHARA UNIT NO-32),TAHASIL -BHUBANESWAR , DIST - KHURDHA .

ARCHITECTURAL DRAWING

TYPICAL FLOOR(2ND TO 11TH) PLAN

SCALE : 1: 100 PAPER-A1  
 DATE : 30.11.2021.  
 DRAWN BY : SIBASANKAR  
 CHECKED BY : SS  
 DWG. NO : BHUB-MUD-A-S-07



CARPET AREA : 135.108 M2  
 BALCONY AREA: 12.37 M2  
 SERVANT AREA: 6.49 M2

BUILT UP AREA: 160.25 M2  
 BUILT UP AREA (Servant): 7.66 M2

CARPET AREA : 163.140 M2  
 BALCONY AREA: 14.628 M2  
 SERVANT AREA: 6.59 M2

BUILT UP AREA: 169.73 M2  
 BUILT UP AREA (Servant): 7.66 M2

CARPET AREA : 139.964 M2  
 BALCONY AREA: 12.261 M2  
 SERVANT AREA: 6.49 M2

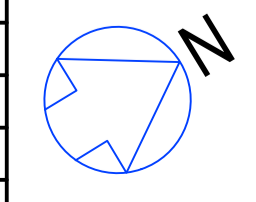
BUILT UP AREA: 163.78 M2  
 BUILT UP AREA (Servant): 7.66 M2

CARPET AREA : 168.74 M2  
 BALCONY AREA: 14.396 M2  
 SERVANT AREA: 6.59 M2

BUILT UP AREA: 194.75 M2  
 BUILT UP AREA (Servant): 7.66 M2

APPROVED BY BHUBANESWAR MUNICIPAL CORPORATION

SANCTION DRAWINGS





- GENERAL NOTES:
1. ALL DIMENSIONS ARE UNFINISHED DIMENSIONS UNLESS OTHERWISE SPECIFIED.
  2. ALL DIMENSIONS ARE IN M.
  3. ALL EXTERNAL WALLS ARE 250 THK & INTERNAL WALLS ARE 125THK.
  4. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH DETAILS, LARGE SCALE DRAWINGS, STRUCTURAL, ELECTRICAL, AND OTHER RELEVANT DRAWINGS.
  5. DISCREPANCIES IF ANY SHOULD BE BROUGHT TO THE NOTICE OF THE ARCHITECT BEFORE THE EXECUTION OF WORK.
  6. DETAIL DRAWINGS SHALL SUPERSEDE SMALLER SCALE DRAWINGS.
  7. CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS BEFORE EXECUTION OF THE WORK.

SCHEDULE OF DOOR WINDOW & OPENING:

DOORS					
MARK	WIDTH	HEIGHT	LINTEL	REMARKS	
D1	1.1	2.4	2.45	FLUSH DOOR	
D2	0.9	2.1	2.15	FLUSH DOOR	
D3	0.75	2.1	2.15	FLUSH DOOR	
D3T	0.75	2.55	2.60	FLUSH DOOR	
D4	1.8	2.40	2.45	FLUSH DOOR	
D5	1.5	2.40	2.45	FLUSH DOOR	
D6	1.2	2.40	2.45	FLUSH DOOR	
D7	1.3	2.40	2.45	FLUSH DOOR	
D8	1	2.40	2.45	FLUSH DOOR	
GD1	1.8	2.40	2.45	GLASS DOOR	
GD2	1	2.10	2.45	GLASS DOOR	
FCD1	1.1	2.10	2.15	FIRE CHECK DOOR	
SD1	1.75	2.60		SLIDING DOOR	
SD2	1.85	2.60		SLIDING DOOR	
SD3	2.10	2.60		SLIDING DOOR	
SD4	3.75	2.60		SLIDING DOOR	BEAM BOTTOM
SD5	2.40	2.60		SLIDING DOOR	
SD6	2.85	2.60		SLIDING DOOR	
SD7	1.30	2.60		SLIDING DOOR	
SD8	2.94	2.60		SLIDING DOOR	
SD9	3.20	2.60		SLIDING DOOR	
OPENINGS					
OP1	0.75	1.85	2.15		
OP2	1	1.85	2.15		
WINDOWS					
MARK	WIDTH	HEIGHT	SILL	LINTEL	REMARKS
W1	2.10	2.30	0.30	2.60	
W2	2.40	2.30	0.30	2.60	
W2a	1.20	2.30	0.30	2.60	
W3	0.95	1.45	1.15	2.60	
W4	0.60	0.80	1.55	2.35	
W5	0.60	1.05	1.55	2.60	
W6	0.50	0.60	1.50	2.15	
W7	2.50	0.60	1.50	2.15	
W8	1.70	2.30	0.30	2.60	
W9	0.75	2.30	0.30	2.60	
W10	0.9	2.30	0.30	2.60	
FGL	AS/PLAN		0.30	3.30	
FGL1	1.70	2.30	0.30	2.60	

PERMISSION GRANTED UNDER SEC.16(3) OF ODA ACT 1982 SUBJECT TO CONDITIONS CONTAINED IN LETTER NO. ANB/2651/2022 DATED : 15/01/2022 PERMISSION IS VALID TILL 14/01/2025

This Building Plan has been prepared in accordance to Odisha Development Act (P & BS) Rule 2020.

Signature Of GPA Holder  
MR. PRADEEP THACKER  
(M/S KHUSHI REALCON PVT.LTD)

Signature Of Architect.  
AR. DUSMANTA KUMAR SWAIN.  
REGD NO:- CA/2002/28795

Plot No & Owner Name

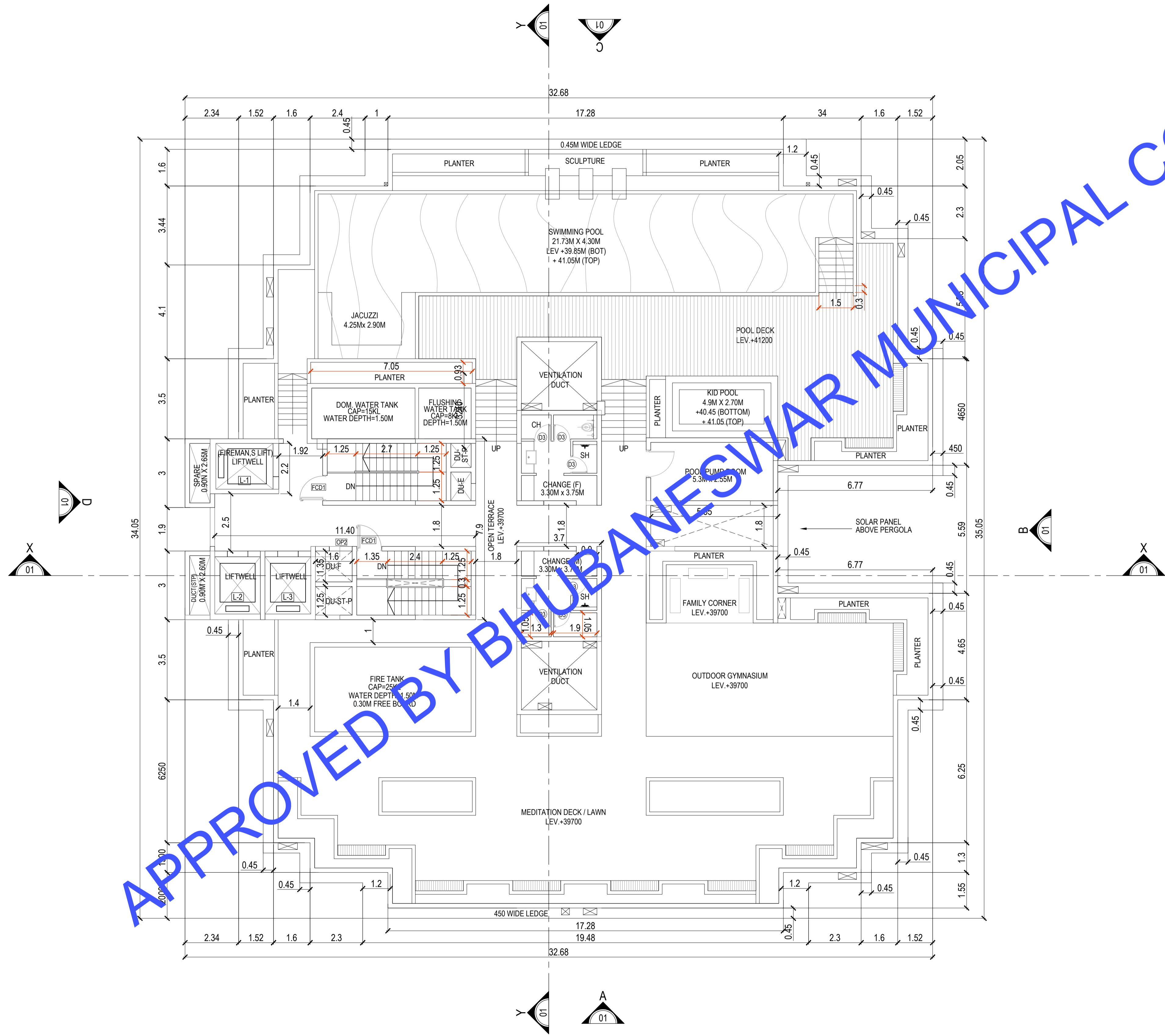
Plot No-622 \_\_\_\_\_ Aditya Patra  
Plot No-710 \_\_\_\_\_ Surendranath Pattnaik  
Plot No-622/2468 \_\_\_\_\_ Surendranath Pattnaik  
Plot No-710/3435 \_\_\_\_\_ Sanjeeta Pattnaik  
Plot No-622/2468/3436 \_\_\_\_\_ Sanjeeta Pattnaik  
Plot No-710/4280 \_\_\_\_\_ Sanjeeta Pattnaik  
Plot No-622/2468/4281 \_\_\_\_\_ Sanjeeta Pattnaik

JOB TITLE:-  
PROPOSED COMMERCIAL CUM RESIDENTIAL APARTMENT (2B+G+11) FOR M/S KHUSHI REALCON PVT. LTD , OVER PLOT NO -622,710,622/2468,710/3435,622/2468/3436, 710/4280 & 622/2468/4281,KHATA NO -1057/2559,1057/1257, 1057/1256,1057/2154,MOUZA -GOBINDAPRASAD, (BHUBANESWAR SAHARA UNIT NO-32),TAHASIL - BHUBANESWAR , DIST - KHURDHA .

ARCHITECTURAL DRAWING

## ROOF PLAN

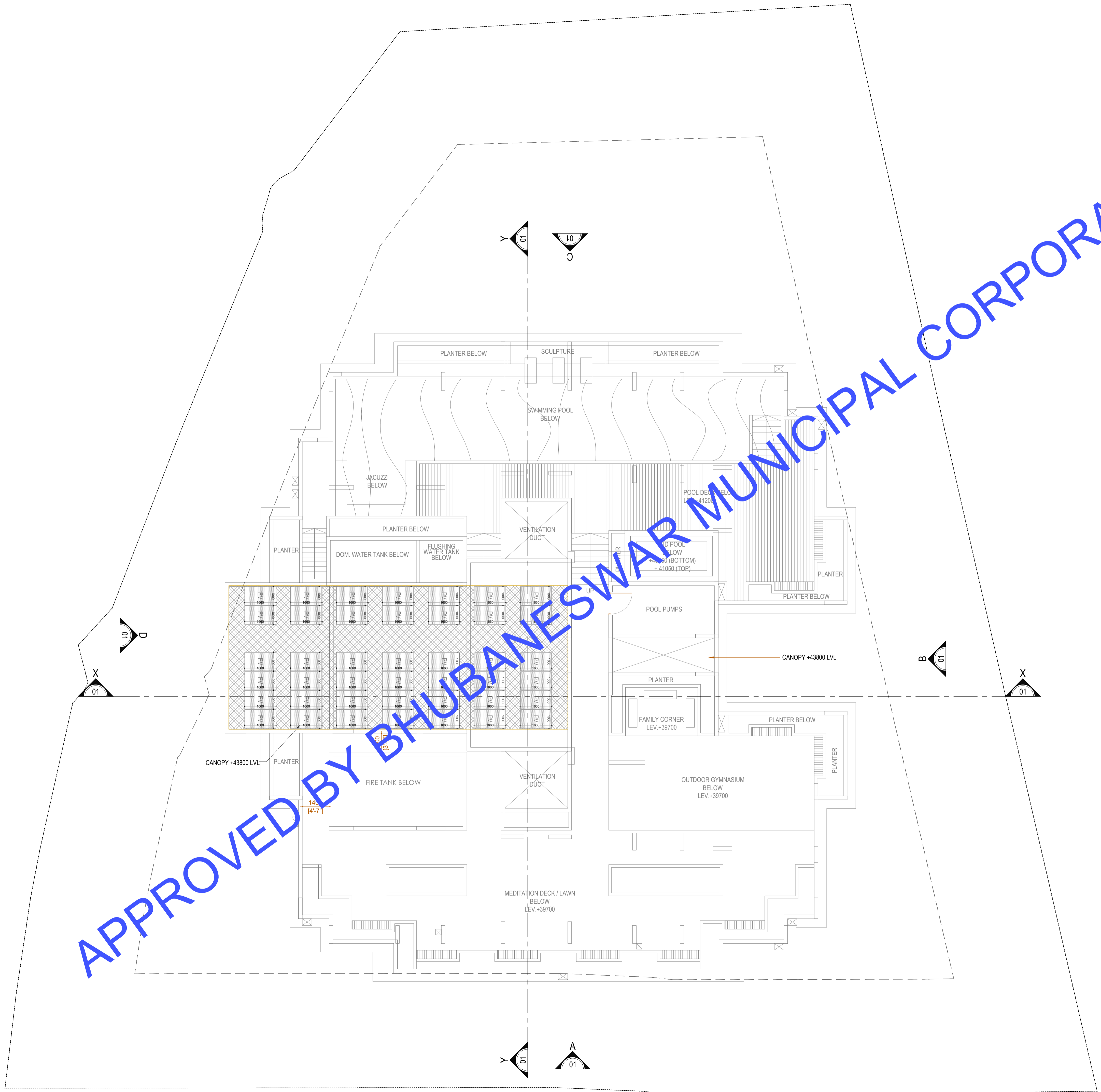
SCALE : 1: 100 PAPER-A1  
DATE : 30.11.2021.  
DRAWN BY : SIBASANKAR  
CHECKED BY : SS  
DWG. NO : BHUB-MUD-A-S-08



SANCTION DRAWINGS



APPROVED BY BHUBANESWAR MUNICIPAL CORPORATION




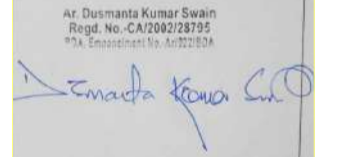
- GENERAL NOTES:**
1. ALL DIMENSIONS ARE UNFINISHED DIMENSIONS UNLESS OTHERWISE SPECIFIED.
  2. ALL DIMENSIONS ARE IN M.
  3. ALL EXTERNAL WALLS ARE 250 THK, & INTERNAL WALLS ARE 125THK
  4. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH DETAILS, LARGE SCALE DRAWINGS, STRUCTURAL, ELECTRICAL AND OTHER RELEVANT DRAWINGS.
  5. DISCREPANCIES IF ANY SHOULD BE BROUGHT TO THE NOTICE OF THE ARCHITECT BEFORE THE EXECUTION OF WORK.
  6. DETAIL DRAWINGS SHALL SUPERSEDE SMALLER SCALE DRAWINGS.
  7. CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS BEFORE EXECUTION OF THE WORK.

**SCHEDULE OF DOOR WINDOW & OPENING:**

DOORS					
MARK	WIDTH	HEIGHT	LINTEL	REMARKS	
D1	1.1	2.4	2.45	FLUSH DOOR	
D2	0.9	2.1	2.15	FLUSH DOOR	
D3	0.75	2.1	2.15	FLUSH DOOR	
D3'	0.75	2.55	2.60	FLUSH DOOR	
D4	1.8	2.40	2.45	FLUSH DOOR	
D5	1.5	2.40	2.45	FLUSH DOOR	
D6	1.2	2.40	2.45	FLUSH DOOR	
D7	1.3	2.40	2.45	FLUSH DOOR	
D8	1	2.40	2.45	FLUSH DOOR	
GD1	1.8	2.40	2.45	GLASS DOOR	
GD2	1	2.10	2.45	GLASS DOOR	
FCD1	1.1	2.10	2.15	FIRE CHECK DOOR	
SD1	1.75	2.60		SLIDING DOOR	
SD2	1.85	2.60		SLIDING DOOR	
SD3	2.10	2.60		SLIDING DOOR	
SD4	3.75	2.60		SLIDING DOOR	BEAM
SD5	2.40	2.60		SLIDING DOOR	BOTTOM
SD6	2.85	2.60		SLIDING DOOR	
SD7	1.30	2.60		SLIDING DOOR	
SD8	2.94	2.60		SLIDING DOOR	
SD9	3.20	2.60		SLIDING DOOR	
OPENINGS					
OP1	0.75	1.85	2.15		
OP2	1	1.85	2.15		
WINDOWS					
MARK	WIDTH	HEIGHT	SILL	LINTEL	REMARKS
W	2.10	2.30	0.30	2.60	
W1	2.40	2.30	0.30	2.60	
W2	1.20	2.30	0.30	2.60	
W2a	1.50	2.30	0.30	2.60	
W3	0.95	1.45	1.15	2.60	
W4	0.60	0.80	1.55	2.35	
W5	0.60	1.05	1.55	2.60	
W6	0.50	0.60	1.50	2.15	
W7	2.50	0.60	1.50	2.15	
W8	1.70	2.30	0.30	2.60	
W9	0.75	2.30	0.30	2.60	
W10	0.900	2.30	0.30	2.60	
FGL	AS/PLAN		0.30	3.30	
FGL1	1.70	2.30	0.30	2.60	

PERMISSION GRANTED  
 UNDER SEC.16(3) OF  
 ODA ACT 1982 SUBJECT  
 TO CONDITIONS CONTAINED  
 IN LETTER NO. ANB/2651/2022  
 DATED : 15/01/2022  
 PERMISSION IS VALID  
 TILL 14/01/2025

This Building Plan has been prepared in accordance to Odisha Development Act (P & BS) Rule 2020.


  
 Signature Of GPA Holder: MR. PRADEEP THACKER (M/S KHUSHI REALCON PVT.LTD)  
 Signature Of Architect: AR. DUSHANTA KUMAR SWAIN (REGD NO:- CA/2002/28795)

**Plot No & Owner Name**

Plot No-622	Aditya Patra
Plot No-710	Surendranath Pattnaik
Plot No-622/2468	Surendranath Pattnaik
Plot No-710/3435	Sanjeeta Pattnaik
Plot No-622/2468/3436	Sanjeeta Pattnaik
Plot No-710/4280	Sanjeeta Pattnaik
Plot No-622/2468/4281	Sanjeeta Pattnaik

**JOB TITLE:-**

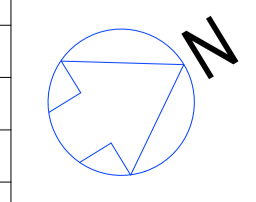
PROPOSED COMMERCIAL CUM RESIDENTIAL APARTMENT (2B+G+11) FOR M/S KHUSHI REALCON PVT.LTD , OVER PLOT NO -622,710,622/2468,710/3435,622/2468/3436, 710/4280 & 622/2468/4281, KHATA NO -1057/2559,1057/1257, 1057/1256,1057/2154,MOUZA -GOBINDAPRASAD, (BHUBANESWAR SAHARA UNIT NO-32),TAHASIL - BHUBANESWAR , DIST - KHURDHA .

ARCHITECTURAL DRAWING

## ABOVE ROOF PLAN

SCALE : 1: 100 PAPER-A1  
 DATE : 30.11.2021.

DRAWN BY : SIBASANKAR  
 CHECKED BY : SS  
 DWG. NO : BHUB-MUD-A-S-09



SANCTION DRAWINGS





APPROVED BY BHUBANESWAR MUNICIPAL CORPORATION

- GENERAL NOTES:
1. ALL DIMENSIONS ARE UNFINISHED DIMENSIONS UNLESS OTHERWISE SPECIFIED.
  2. ALL DIMENSIONS ARE IN M.
  3. ALL EXTERNAL WALLS ARE 230 THK & INTERNAL WALLS ARE 125THK
  4. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH DETAILS, LARGE SCALE DRAWINGS, STRUCTURAL, ELECTRICAL AND OTHER RELEVANT DRAWINGS.
  5. DISCREPANCIES IF ANY SHOULD BE BROUGHT TO THE NOTICE OF THE ARCHITECT BEFORE THE EXECUTION OF WORK.
  6. DETAIL DRAWINGS SHALL SUPERSEDE SMALLER SCALE DRAWINGS.
  7. CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS BEFORE EXECUTION OF THE WORK.

**SCHEDULE OF DOOR WINDOW & OPENING:**

DOORS					
MARK	WIDTH	HEIGHT	LINTEL	REMARKS	
D1	1.1	2.4	2.45	FLUSH DOOR	
D2	0.9	2.1	2.15	FLUSH DOOR	
D3	0.75	2.1	2.15	FLUSH DOOR	
D31	0.75	2.55	2.60	FLUSH DOOR	
D4	1.8	2.40	2.45	FLUSH DOOR	
D5	1.5	2.40	2.45	FLUSH DOOR	
D6	1.2	2.40	2.45	FLUSH DOOR	
D7	1.3	2.40	2.45	FLUSH DOOR	
D8	1	2.40	2.45	FLUSH DOOR	
GD1	1.8	2.40	2.45	GLASS DOOR	
GD2	1	2.10	2.45	GLASS DOOR	
FCD1	1.1	2.10	2.15	FIRE CHECK DOOR	
SD1	1.75	2.60		SLIDING DOOR	
SD2	1.85	2.60		SLIDING DOOR	
SD3	2.10	2.60		SLIDING DOOR	
SD4	3.75	2.60		SLIDING DOOR	
SD5	2.40	2.60		SLIDING DOOR	
SD6	2.85	2.60		SLIDING DOOR	
SD7	1.30	2.60		SLIDING DOOR	
SD8	2.94	2.60		SLIDING DOOR	
SD9	3.20	2.60		SLIDING DOOR	


OPENINGS					
MARK	WIDTH	HEIGHT	LINTEL	REMARKS	
OP1	0.75	1.85	2.15		
OP2	1	1.85	2.15		

WINDOWS					
MARK	WIDTH	HEIGHT	SILL	LINTEL	REMARKS
W	2.10	2.30	0.30	2.60	
W1	2.40	2.30	0.30	2.60	
W2	1.20	2.30	0.30	2.60	
W2a	1.50	2.30	0.30	2.60	
W3	0.95	1.45	1.15	2.60	
W4	0.60	0.80	1.55	2.35	
W5	0.60	1.05	1.55	2.60	
W6	0.50	0.60	1.50	2.15	
W7	2.50	0.60	1.50	2.15	
W8	1.70	2.30	0.30	2.60	
W9	0.75	2.30	0.30	2.60	
W10	0.90	2.30	0.30	2.60	
FGL	AS/PLAN		0.30	3.30	
FGL1	1.70	2.30	0.30	2.60	

PERMISSION GRANTED UNDER SEC.16(3) OF ODA ACT 1982 SUBJECT TO CONDITIONS CONTAINED IN LETTER NO. ANB/2651/2022 DATED : 15/01/2022 PERMISSION IS VALID TILL 14/01/2025

This Building Plan has been prepared in accordance to Odisha Development Act (P & BS) Rule 2020.

 Signature Of GPA Holder MR. PRADEEP THACKER (MS KHUSHI REALCON PVT.LTD)	 Signature Of Architect. AR. DUSHMANTA KUMAR SWAIN. REGD NO.- CA/2002/28795
--	---

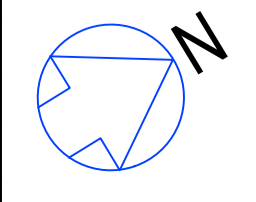
Plot No & Owner Name
Plot No-622 _____ Aditya Patra
Plot No-710 _____ Surendranath Pattnaik
Plot No-622/2468 _____ Surendranath Pattnaik
Plot No-710/3435 _____ Sanjeeta Pattnaik
Plot No-622/2468/3436 _____ Sanjeeta Pattnaik
Plot No-710/4280 _____ Sanjeeta Pattnaik
Plot No-622/2468/4281 _____ Sanjeeta Pattnaik

**JOB TITLE:-**

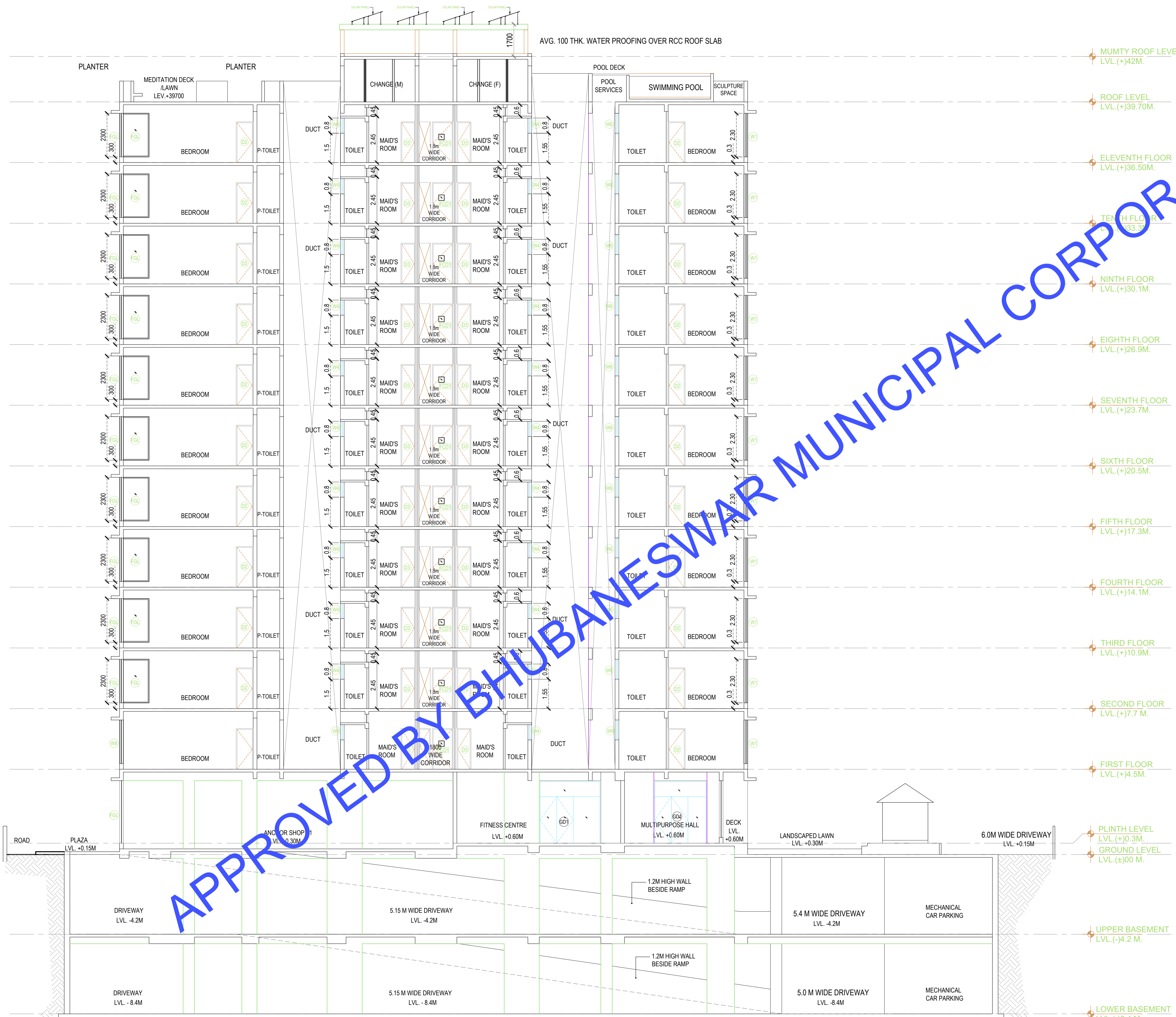
PROPOSED COMMERCIAL CUM RESIDENTIAL APARTMENT (2B+G+11) FOR M/S KHUSHI REALCON PVT.LTD , OVER PLOT NO -622,710,622/2468,710/3435,622/2468/3436, 710/4280 & 622/2468/4281,KHATA NO -1057/2559,1057/1257, 1057/1256,1057/2154,MOUZA -GOBINDAPRASAD, (BHUBANESWAR SAHARA UNIT NO-32),TAHASIL - BHUBANESWAR , DIST - KHRUDHA .

ARCHITECTURAL DRAWING	
SECTION XX	
SCALE :	1: 100 PAPER-A1
DATE :	30.11.2021.
DRAWN BY :	SIBASANKAR
CHECKED BY :	SS
DWG. NO. :	BHUB-MUD-A-S-10

SANCTION DRAWINGS







- GENERAL NOTES:**
1. ALL DIMENSIONS ARE UNFINISHED DIMENSIONS UNLESS OTHERWISE SPECIFIED
  2. ALL DIMENSIONS ARE IN M.
  3. ALL EXTERNAL WALLS ARE 250 THK. & INTERNAL WALLS ARE 125THK
  4. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH DETAILS, LARGE SCALE DRAWINGS, STRUCTURAL, ELECTRICAL, AND OTHER RELEVANT DRAWINGS
  5. DISCREPANCIES IF ANY SHOULD BE BROUGHT TO THE NOTICE OF THE ARCHITECT BEFORE THE EXECUTION OF WORK.
  6. DETAIL DRAWINGS SHALL SUPERSEDE SMALLER SCALE DRAWINGS.
  7. CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS BEFORE EXECUTION OF THE WORK.

**SCHEDULE OF DOOR WINDOW & OPENING:**

MARK	WIDTH	DOORS		REMARKS
		HEIGHT	LINTEL	
D1	1.1	2.4	2.45	FLUSH DOOR
D2	0.9	2.1	2.15	FLUSH DOOR
D3	0.75	2.1	2.15	FLUSH DOOR
D3'	0.75	2.55	2.60	FLUSH DOOR
D4	1.8	2.40	2.45	FLUSH DOOR
D5	1.5	2.40	2.45	FLUSH DOOR
D6	1.2	2.40	2.45	FLUSH DOOR
D7	1.3	2.40	2.45	FLUSH DOOR
D8	1	2.40	2.45	FLUSH DOOR
GD1	1.8	2.40	2.45	GLASS DOOR
GD2	1	2.10	2.45	GLASS DOOR
FCD1	1.1	2.10	2.15	FIRE CHECK DOOR
SD1	1.75	2.60		SLIDING DOOR
SD2	1.85	2.60		SLIDING DOOR
SD3	2.10	2.60		SLIDING DOOR
SD4	3.75	2.60		SLIDING DOOR
SD5	2.40	2.60		SLIDING DOOR
SD6	2.85	2.60		SLIDING DOOR
SD7	1.30	2.60		SLIDING DOOR
SD8	2.94	2.60		SLIDING DOOR
SD9	3.20	2.60		SLIDING DOOR

MARK	WIDTH	HEIGHT	WINDOWS		REMARKS
			SILL	LINTEL	
W	2.40	2.30	0.30	2.60	
W1	2.40	2.30	0.30	2.60	
W2	1.20	2.30	0.30	2.60	
W2a	1.50	2.30	0.30	2.60	
W3	0.95	1.45	1.15	2.60	
W4	0.60	0.80	1.55	2.35	
W5	0.60	1.05	1.55	2.60	
W6	0.50	0.60	1.50	2.15	
W7	2.50	0.60	1.50	2.15	
W8	1.70	2.30	0.30	2.60	
W9	0.75	2.30	0.30	2.60	
W10	0.90	2.30	0.30	2.60	
FGL	AS/PLAN		0.30	3.30	
FGL1	1.70	2.30	0.30	2.60	

PERMISSION GRANTED UNDER ACT 1982 SUBJECT TO CONDITIONS CONTAINED IN LETTER NO. ANB/2651/2022 DATED : 15/01/2022 PERMISSION IS VALID TILL 14/01/2025

This Building Plan has been prepared in accordance to Odisha Development Act (P & BS) Rule 2020.

**KHUSHI REALCON PVT. LTD.**  
 Signature Of GEA Holder: MR. PRADEEP THACKER (M/S KHUSHI REALCON PVT.LTD)  
 Signature Of Architect: AR. DISMANTA KUMAR SWAIN (REGD NO:- CA/2002/28795)

**Plot No & Owner Name**

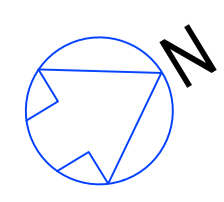
- Plot No-622 Aditya Patra
- Plot No-710 Surendranath Pattnaik
- Plot No-622/2468 Surendranath Pattnaik
- Plot No-710/3435 Sanjeeta Pattnaik
- Plot No-622/2468/3436 Sanjeeta Pattnaik
- Plot No-710/4280 Sanjeeta Pattnaik
- Plot No-622/2468/4281 Sanjeeta Pattnaik

**JOB TITLE:-**  
 PROPOSED COMMERCIAL CUM RESIDENTIAL APARTMENT (2B+G+11) FOR M/S KHUSHI REALCON PVT. LTD , OVER PLOT NO -622,710,622/2468,710/3435,622/2468/3436, 710/4280 & 622/2468/4281,KHATA NO -1057/2559,1057/1257, 1057/1256,1057/2154,MOUZA -GOBINDAPRASAD, (BHUBANESWAR SAHARA UNIT NO- 32),TAHASIL - BHUBANESWAR , DIST - KHURDHA .

ARCHITECTURAL DRAWING  
**SECTION YY**  
 SCALE: 1: 100 PAPER-A1  
 DATE: 30.11.2021.  
 DRAWN BY: SIBSANKAR  
 CHECKED BY: SS  
 DWG. NO.: BHUB-MUD-A-S-11

APPROVED BY BHUBANESWAR MUNICIPAL CORPORATION

SANCTION DRAWINGS







- GENERAL NOTES:
1. ALL DIMENSIONS ARE UNFINISHED DIMENSIONS UNLESS OTHERWISE SPECIFIED.
  2. ALL DIMENSIONS ARE IN M.
  3. ALL EXTERNAL WALLS ARE 250 THK. & INTERNAL WALLS ARE 125THK.
  4. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH DETAILS, LARGE SCALE DRAWINGS, STRUCTURAL, ELECTRICAL AND OTHER RELEVANT DRAWINGS.
  5. DISCREPANCIES IF ANY SHOULD BE BROUGHT TO THE NOTICE OF THE ARCHITECT BEFORE THE EXECUTION OF WORK.
  6. DETAIL DRAWINGS SHALL SUPERSEDE SMALLER SCALE DRAWINGS.
  7. CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS BEFORE EXECUTION OF THE WORK.

SCHEDULE OF DOOR WINDOW & OPENING:

DOORS					
MARK	WIDTH	HEIGHT	LINTEL	REMARKS	
D1	1.1	2.4	2.45	FLUSH DOOR	
D2	0.9	2.1	2.15	FLUSH DOOR	
D3	0.75	2.1	2.15	FLUSH DOOR	
D3'	0.75	2.55	2.60	FLUSH DOOR	
D4	1.8	2.40	2.45	FLUSH DOOR	
D5	1.5	2.40	2.45	FLUSH DOOR	
D6	1.2	2.40	2.45	FLUSH DOOR	
D7	1.3	2.40	2.45	FLUSH DOOR	
D8	1	2.40	2.45	FLUSH DOOR	
GD1	1.8	2.40	2.45	GLASS DOOR	
GD2	1	2.10	2.45	GLASS DOOR	
FCD1	1.1	2.10	2.15	FIRE CHECK DOOR	
SD1	1.75	2.60		SLIDING DOOR	
SD2	1.85	2.60		SLIDING DOOR	
SD3	2.10	2.60		SLIDING DOOR	
SD4	3.75	2.60		SLIDING DOOR	BEAM BOTTOM
SD5	2.40	2.60		SLIDING DOOR	
SD6	2.85	2.60		SLIDING DOOR	
SD7	1.30	2.60		SLIDING DOOR	
SD8	2.94	2.60		SLIDING DOOR	
SD9	3.20	2.60		SLIDING DOOR	
OPENINGS					
OP1	0.75	1.85	2.15		
OP2	1	1.85	2.15		
WINDOWS					
MARK	WIDTH	HEIGHT	SILL	LINTEL	REMARKS
W	2.10	2.30	0.30	2.60	
W1	2.40	2.30	0.30	2.60	
W2	1.20	2.30	0.30	2.60	
W2a	1.50	2.30	0.30	2.60	
W3	0.95	1.45	1.15	2.60	
W4	0.60	0.80	1.55	2.35	
W5	0.60	1.05	1.55	2.60	
W6	0.50	0.60	1.50	2.15	
W7	2.50	0.60	1.50	2.15	
W8	1.70	2.30	0.30	2.60	
W9	0.75	2.30	0.30	2.60	
W10	0.900	2.30	0.30	2.60	
FGL	AS/PLAN		0.30	3.30	
FGL1	1.70	2.30	0.30	2.60	

PERMISSION GRANTED UNDER SEC.16(3) OF ODA ACT 1982 SUBJECT TO CONDITIONS CONTAINED IN LETTER NO. ANB/2651/2022 DATED : 15/01/2022 PERMISSION IS VALID TILL 14/01/2025

This Building Plan has been prepared in accordance to Odisha Development Act (P & B5) Rule 2020.

Signature Of GPA Holder  
MR. PRADEEP THACKER  
(M/S KHUSHI REALCON PVT.LTD)

Signature Of Architect.  
AR. DUSMANTA KUMAR SWAIN.  
REGD NO:- CA/2002/28795

Plot No & Owner Name

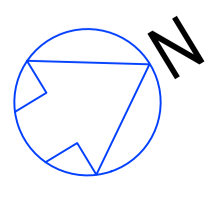
Plot No-622 Aditya Patra  
Plot No-710 Surendranath Pattnaik  
Plot No-622/2468 Surendranath Pattnaik  
Plot No-710/3435 Sanjeeta Pattnaik  
Plot No-622/2468/3436 Sanjeeta Pattnaik  
Plot No-710/4280 Sanjeeta Pattnaik  
Plot No-622/2468/4281 Sanjeeta Pattnaik

JOB TITLE:-  
PROPOSED COMMERCIAL CUM RESIDENTIAL APARTMENT (2B+G+11) FOR M/S KHUSHI REALCON PVT.LTD , OVER PLOT NO -622,710,622/2468,710/3435,622/2468/3436, 710/4280 & 622/2468/4281, KHATA NO -1057/2559,1057/1257, 1057/1256,1057/2154,MOUZA -GOBINDAPRASAD, (BHUBANESWAR SAHARA UNIT NO-32),TAHASIL - BHUBANESWAR , DIST - KHURDHA .

ARCHITECTURAL DRAWING  
ELEVATION 'A'

SCALE : 1: 100 PAPER-A1  
DATE : 30.11.2021.  
DRAWN BY : SIBSANKAR  
CHECKED BY : SS  
DWG. NO : BHUB-MUD-A-S-12

SANCTION DRAWINGS







- GENERAL NOTES:
1. ALL DIMENSIONS ARE UNFINISHED DIMENSIONS UNLESS OTHERWISE SPECIFIED.
  2. ALL DIMENSIONS ARE IN M.
  3. ALL EXTERNAL WALLS ARE 250 THK, & INTERNAL WALLS ARE 125THK
  4. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH DETAILS, LARGE SCALE DRAWINGS, STRUCTURAL, ELECTRICAL AND OTHER RELEVANT DRAWINGS.
  5. DISCREPANCIES IF ANY SHOULD BE BROUGHT TO THE NOTICE OF THE ARCHITECT BEFORE THE EXECUTION OF WORK.
  6. DETAIL DRAWINGS SHALL SUPERSEDE SMALLER SCALE DRAWINGS.
  7. CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS BEFORE EXECUTION OF THE WORK.

SCHEDULE OF DOOR WINDOW & OPENING:

DOORS					
MARK	WIDTH	HEIGHT	LINTEL	REMARKS	
D1	1.1	2.4	2.45	FLUSH DOOR	
D2	0.9	2.1	2.15	FLUSH DOOR	
D3	0.75	2.1	2.15	FLUSH DOOR	
D3'	0.75	2.55	2.60	FLUSH DOOR	
D4	1.8	2.40	2.45	FLUSH DOOR	
D5	1.5	2.40	2.45	FLUSH DOOR	
D6	1.2	2.40	2.45	FLUSH DOOR	
D7	1.30	2.40	2.45	FLUSH DOOR	
D8	1	2.40	2.45	FLUSH DOOR	
GD1	1.8	2.40	2.45	GLASS DOOR	
GD2	1	2.10	2.45	GLASS DOOR	
FCD1	1.1	2.10	2.15	FIRE CHECK DOOR	
SD1	1.75	2.60		SLIDING DOOR	
SD2	1.85	2.60		SLIDING DOOR	
SD3	2.10	2.60		SLIDING DOOR	BEAM BOTTOM
SD4	3.75	2.60		SLIDING DOOR	
SD5	2.40	2.60		SLIDING DOOR	
SD6	2.85	2.60		SLIDING DOOR	
SD7	1.30	2.60		SLIDING DOOR	
SD8	2.94	2.60		SLIDING DOOR	
SD9	3.20	2.60		SLIDING DOOR	
OPENINGS					
OP1	0.75	1.85	2.15		
OP2	1	1.85	2.15		
WINDOWS					
MARK	WIDTH	HEIGHT	SILL	LINTEL	REMARKS
W	2.10	2.30	0.30	2.60	
W1	2.40	2.30	0.30	2.60	
W2	1.20	2.30	0.30	2.60	
W2a	1.50	2.30	0.30	2.60	
W3	0.95	1.45	1.15	2.60	
W4	0.60	0.80	1.55	2.35	
W5	0.60	1.05	1.55	2.60	
W6	0.50	0.60	1.50	2.15	
W7	2.50	0.60	1.50	2.15	
W8	1.70	2.30	0.30	2.60	
W9	0.75	2.30	0.30	2.60	
W10	0.900	2.30	0.30	2.60	
FGL	AS/PLAN		0.30	3.30	
FGL1	1.70	2.30	0.30	2.60	

PERMISSION GRANTED UNDER SEC.16(3) OF ODA ACT 1982 SUBJECT TO CONDITIONS CONTAINED IN LETTER NO. ANB/2651/2022 DATED : 15/01/2022 PERMISSION IS VALID TILL 14/01/2025

This Building Plan has been prepared in accordance to Odisha Development Act (P & B5) Rule 2020.

Signature of GPA Holder  
MR. PRADEEP THACKER  
(M/S KHUSHI REALCON PVT.LTD)

Signature Of Architect.  
AR. DUSMANTA KUMAR SWAIN.  
REGD NO:- CA/2002/28795

Plot No & Owner Name

Plot No-622 \_\_\_\_\_ Aditya Patra  
Plot No-710 \_\_\_\_\_ Surendranath Pattnaik  
Plot No-622/2468 \_\_\_\_\_ Surendranath Pattnaik  
Plot No-710/3435 \_\_\_\_\_ Sanjeeta Pattnaik  
Plot No-622/2468/3436 \_\_\_\_\_ Sanjeeta Pattnaik  
Plot No-710/4280 \_\_\_\_\_ Sanjeeta Pattnaik  
Plot No-622/2468/4281 \_\_\_\_\_ Sanjeeta Pattnaik

JOB TITLE:-  
PROPOSED COMMERCIAL CUM RESIDENTIAL APARTMENT (2B+G+11) FOR M/S KHUSHI REALCON PVT.LTD , OVER PLOT NO -622,710,622/2468,710/3435,622/2468/3436, 710/4280 & 622/2468/4281,KHATA NO -1057/2559,1057/1257, 1057/1256,1057/2154,MOUZA -GOBINDAPRASAD, (BHUBANESWAR SAHARA UNIT NO-32),TAHASIL - BHUBANESWAR , DIST - KHURDHA .

ARCHITECTURAL DRAWING

ELEVATION B

SCALE : 1: 100 PAPER-A1

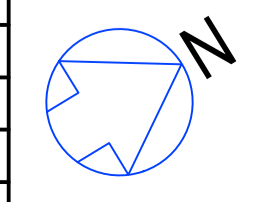
DATE : 30.11.2021

DRAWN BY : SIBSANKAR

CHECKED BY : SS

DWG. NO : BHUB-MUD-A-S-13

SANCTION DRAWINGS





APPROVED BY BHUBANESWAR MUNICIPAL CORPORATION



- GENERAL NOTES:**
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**SCHEDULE OF DOOR WINDOW & OPENING:**

DOORS					
MARK	WIDTH	HEIGHT	LINTEL	REMARKS	
D1	1.1	2.4	2.45	FLUSH DOOR	
D2	0.9	2.1	2.15	FLUSH DOOR	
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D3'	0.75	2.55	2.60	FLUSH DOOR	
D4	1.8	2.40	2.45	FLUSH DOOR	
D5	1.5	2.40	2.45	FLUSH DOOR	
D6	1.2	2.40	2.45	FLUSH DOOR	
D7	1.3	2.40	2.45	FLUSH DOOR	
D8	1	2.40	2.45	FLUSH DOOR	
GD1	1.8	2.40	2.45	GLASS DOOR	
GD2	1	2.10	2.45	GLASS DOOR	
FCD1	1.1	2.10	2.15	FIRE CHECK DOOR	
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SD3	2.10	2.60		SLIDING DOOR	
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OP1	0.75	1.85	2.15		
OP2	1	1.85	2.15		
WINDOWS					
MARK	WIDTH	HEIGHT	SILL	LINTEL	REMARKS
W	2.10	2.30	0.30	2.60	
W1	2.40	2.30	0.30	2.60	
W2	1.20	2.30	0.30	2.60	
W2a	1.50	2.30	0.30	2.60	
W3	0.95	1.45	1.15	2.60	
W4	0.60	0.80	1.55	2.35	
W5	0.60	1.05	1.55	2.60	
W6	0.50	0.60	1.50	2.15	
W7	2.50	0.60	1.50	2.15	
W8	1.70	2.30	0.30	2.60	
W9	0.75	2.30	0.30	2.60	
W10	0.900	2.30	0.30	2.60	
FGL	AS/PLAN		0.30	3.30	
FGL1	1.70	2.30	0.30	2.60	

PERMISSION GRANTED UNDER SEC.16(3) OF ODA ACT 1982 SUBJECT TO CONDITIONS CONTAINED IN LETTER NO. ANB/2651/2022 DATED : 15/01/2022 PERMISSION IS VALID TILL 14/01/2025

This Building Plan has been prepared in accordance to Odisha Development Act (P & BS) Rule 2020.

Signature of GPA Holder  
MR. PRADEEP THACKER  
(M/S KHUSHI REALCON PVT.LTD)

Signature Of Architect.  
AR. DUSMANTA KUMAR SWAIN.  
REGD NO:- CA/2002/28795

Plot No & Owner Name

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Plot No-622/2468/3436 \_\_\_\_\_ Sanjeeta Pattnaik  
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**JOB TITLE:-**

PROPOSED COMMERCIAL CUM RESIDENTIAL APARTMENT (2B+G+11) FOR M/S KHUSHI REALCON PVT.LTD , OVER PLOT NO -622,710,622/2468,710/3435,622/2468/3436, 710/4280 & 622/2468/4281,KHATA NO -1057/2559,1057/1257, 1057/1256,1057/2154,MOUZA -GOBINDAPRASAD, (BHUBANESWAR SAHARA UNIT NO-32),TAHASIL - BHUBANESWAR , DIST - KHURDHA .

ARCHITECTURAL DRAWING

**ELEVATION C**

SCALE : 1: 100 PAPER-A1

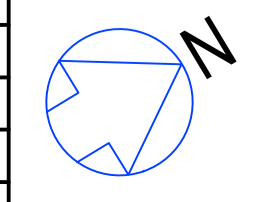
DATE : 30.11.2021

DRAWN BY : SIBSANKAR

CHECKED BY : SS

DWG. NO : BHUB-MUD-A-S-14

SANCTION DRAWINGS





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W3	0.95	1.45	1.15	2.60	
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W5	0.60	1.05	1.55	2.60	
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W8	1.70	2.30	0.30	2.60	
W9	0.75	2.30	0.30	2.60	
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ARCHITECTURAL DRAWING  
ELEVATION D

SCALE : 1: 100 PAPER-A1  
DATE : 30.11.2021.  
DRAWN BY : SIBSANKAR  
CHECKED BY : SS  
DWG. NO : BHUB-MUD-A-S-15

SANCTION DRAWINGS

